

Executive Summary Report

Characteristics-Based Market Adjustment for 2004 Assessment Roll

Area Name / Number: Lake Hills, Robinswood, Phantom Lake, and Vasa Park / 67

Previous Physical Inspection: 2003

Sales - Improved Summary:

Number of Sales: 429

Range of Sale Dates: 1/2002 - 12/2003

Sales – Improved Valuation Change Summary						
	Land	Imps	Total	Sale Price	Ratio	COV*
2003 Value	\$155,300	\$136,800	\$292,100	\$310,200	94.2%	8.46%
2004 Value	\$162,700	\$145,100	\$307,800	\$310,200	99.2%	8.07%
Change	+\$7,400	+\$8,300	+\$15,700		+5.0%	-0.39%
%Change	+4.8%	+6.1%	+5.4%		+5.3%	-4.61%

*COV is a measure of uniformity; the lower the number the better the uniformity. The negative figures of -0.39% and -4.61% represent an improvement.

Sales used in this analysis: All sales of one to three unit residences on residential lots which were verified as, or appeared to be market sales were considered for the analysis. Individual sales that were excluded are listed later in this report. Multi-parcel sales, multi-building sales, mobile home sales, and sales of new construction where less than a 100% complete house was assessed for 2003 or any existing residence where the data for 2003 is significantly different from the data for 2004 due to remodeling were also excluded. In addition, the summary above excludes sales of parcels that had improvement value of \$10,000 or less posted for the 2003 Assessment Roll. This also excludes previously vacant and destroyed property partial value accounts.

	Land	Imps	Total
2003 Value	\$159,100	\$136,100	\$295,200
2004 Value	\$166,800	\$144,600	\$311,400
Percent Change	+4.8%	+6.2%	+5.5%

Number of one to three unit residences in the Population: 4264

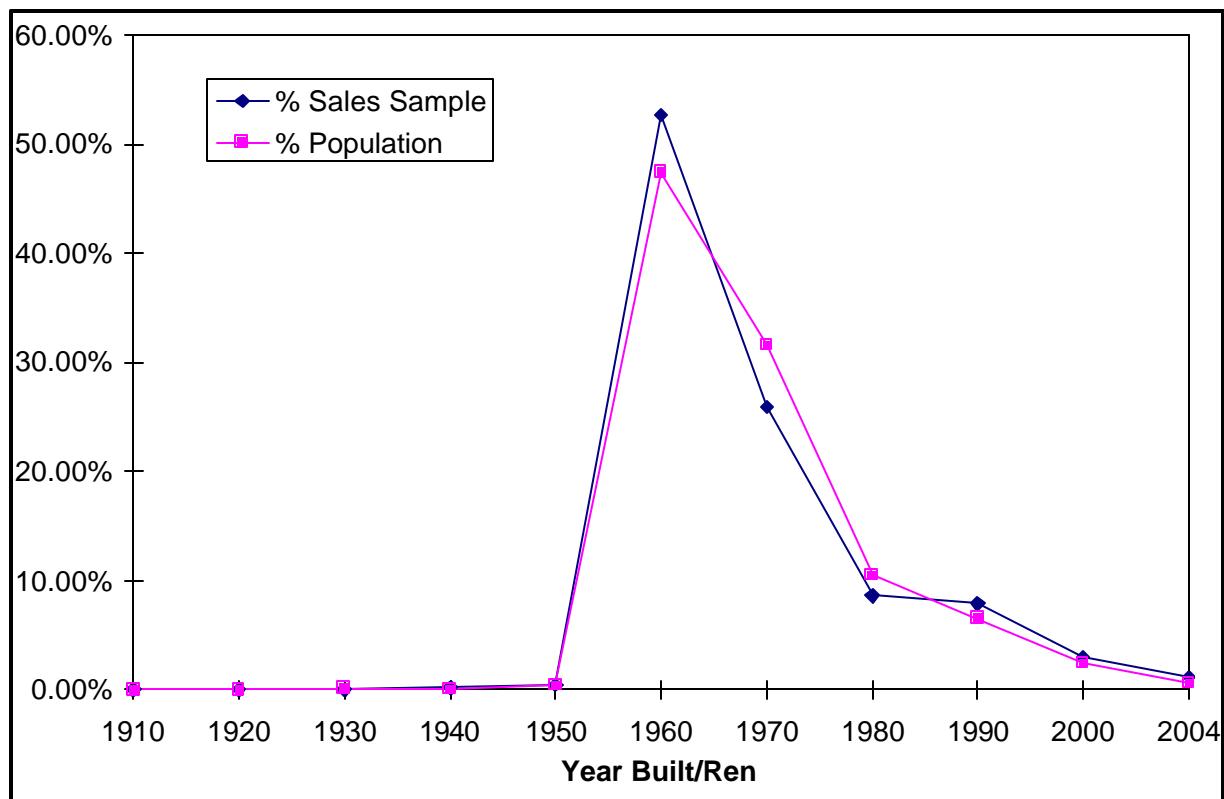
Summary of Findings: The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living area, views, waterfront, lot size, land problems and neighborhoods. The analysis results showed that several characteristic-based and neighborhood-based variables needed to be included in the update formula in order to improve the uniformity of assessments throughout the area. For instance, Homes with a Grade = 10 had higher average ratios (assessed Value/sales price) than other homes, so the formula adjusts these homes downward. Similarly, Plats known as Conifer Crest (Major = 173680), Eastgate Hills- Evergreen Add (Major = 220710), Lake Hills #22 (Major = 403930), and Village on Main Street (Major = 894460) had lower ratios (assessed Value/sales price) than other homes, so the formula adjusts these properties upward more than other properties thus improving equalization.

The Annual Update Values described in this report improve assessment levels, uniformity and equity. The recommendation is to post those values for the 2004 assessment roll.

Sales Sample Representation of Population - Year Built or Year Renovated

Sales Sample		
Year Built/Ren	Frequency	% Sales Sample
1910	0	0.00%
1920	0	0.00%
1930	0	0.00%
1940	1	0.23%
1950	2	0.47%
1960	226	52.68%
1970	111	25.87%
1980	37	8.62%
1990	34	7.93%
2000	13	3.03%
2004	5	1.17%
	429	

Population		
Year Built/Ren	Frequency	% Population
1910	1	0.02%
1920	0	0.00%
1930	7	0.16%
1940	5	0.12%
1950	18	0.42%
1960	2022	47.42%
1970	1347	31.59%
1980	449	10.53%
1990	280	6.57%
2000	106	2.49%
2004	29	0.68%
	4264	

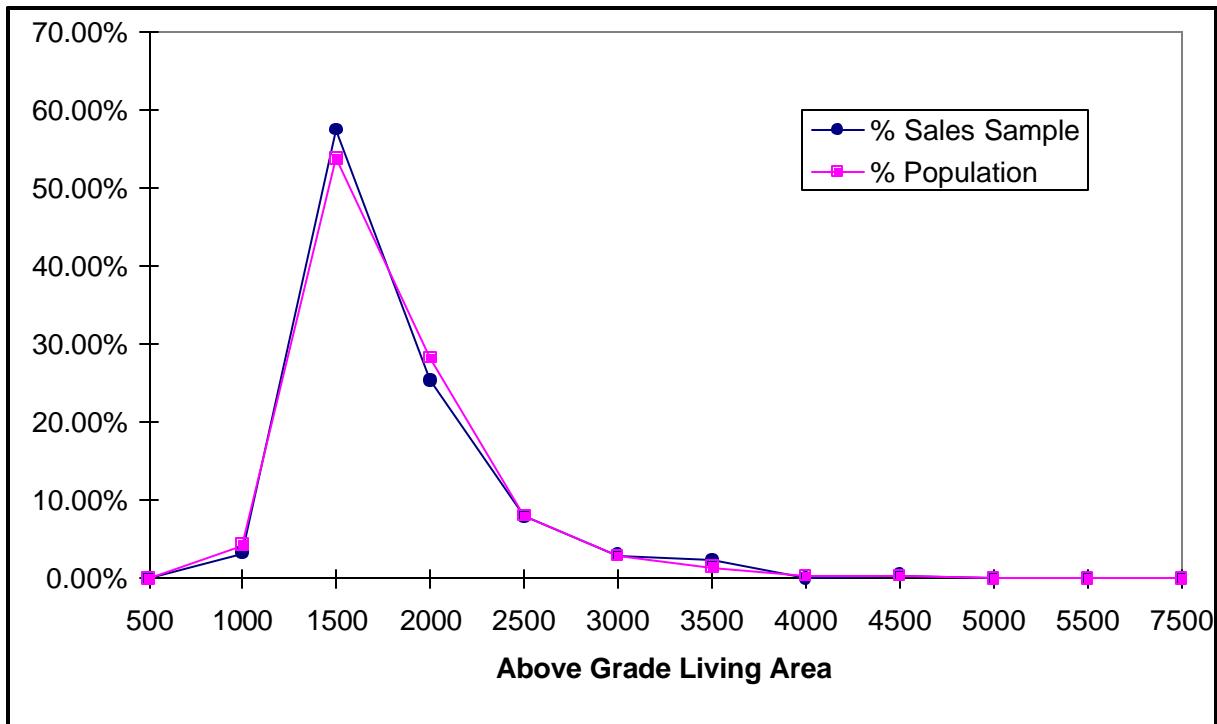


The sales sample frequency distribution follows the population distribution very closely with regard to Year Built/Ren. This distribution is ideal for both accurate analysis and appraisals.

Sales Sample Representation of Population - Above Grade Living Area

Sales Sample		
AGLA	Frequency	% Sales Sample
500	0	0.00%
1000	14	3.26%
1500	247	57.58%
2000	109	25.41%
2500	34	7.93%
3000	13	3.03%
3500	10	2.33%
4000	0	0.00%
4500	2	0.47%
5000	0	0.00%
5500	0	0.00%
7500	0	0.00%
	429	

Population		
AGLA	Frequency	% Population
500	2	0.05%
1000	184	4.32%
1500	2297	53.87%
2000	1209	28.35%
2500	345	8.09%
3000	127	2.98%
3500	65	1.52%
4000	17	0.40%
4500	15	0.35%
5000	2	0.05%
5500	0	0.00%
7500	1	0.02%
	4264	

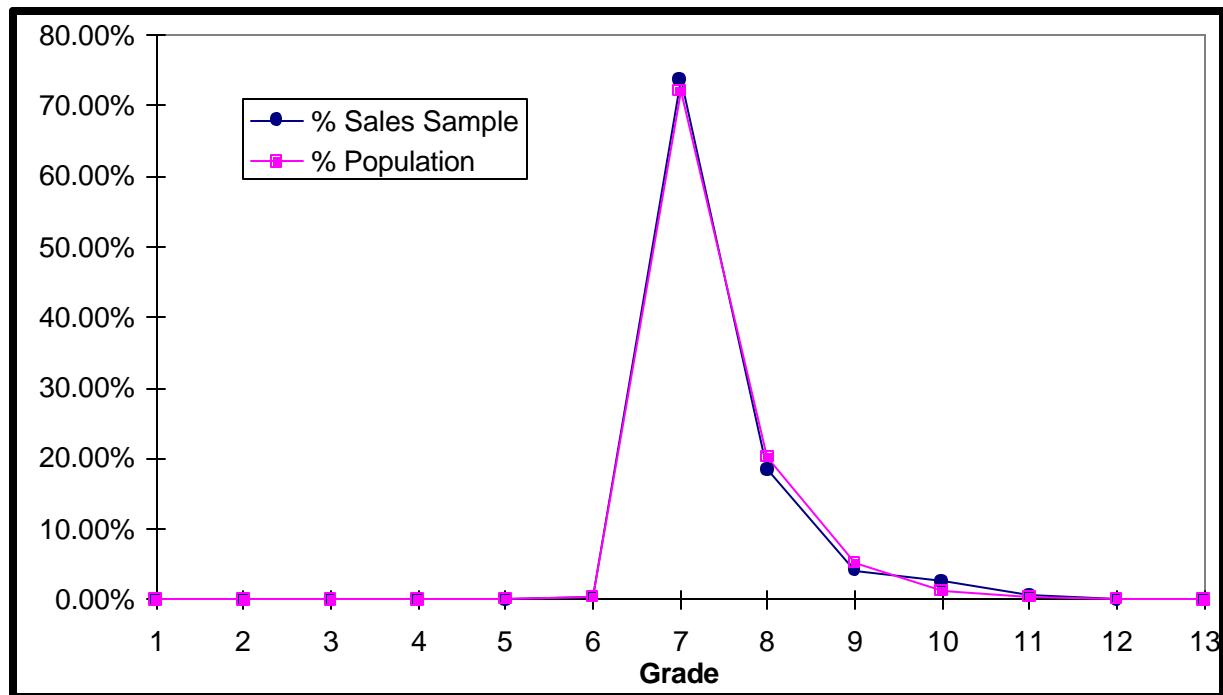


The sales sample frequency distribution follows the population distribution very closely with regard to Above Grade Living Area. This distribution is ideal for both accurate analysis and appraisals.

Sales Sample Representation of Population - Grade

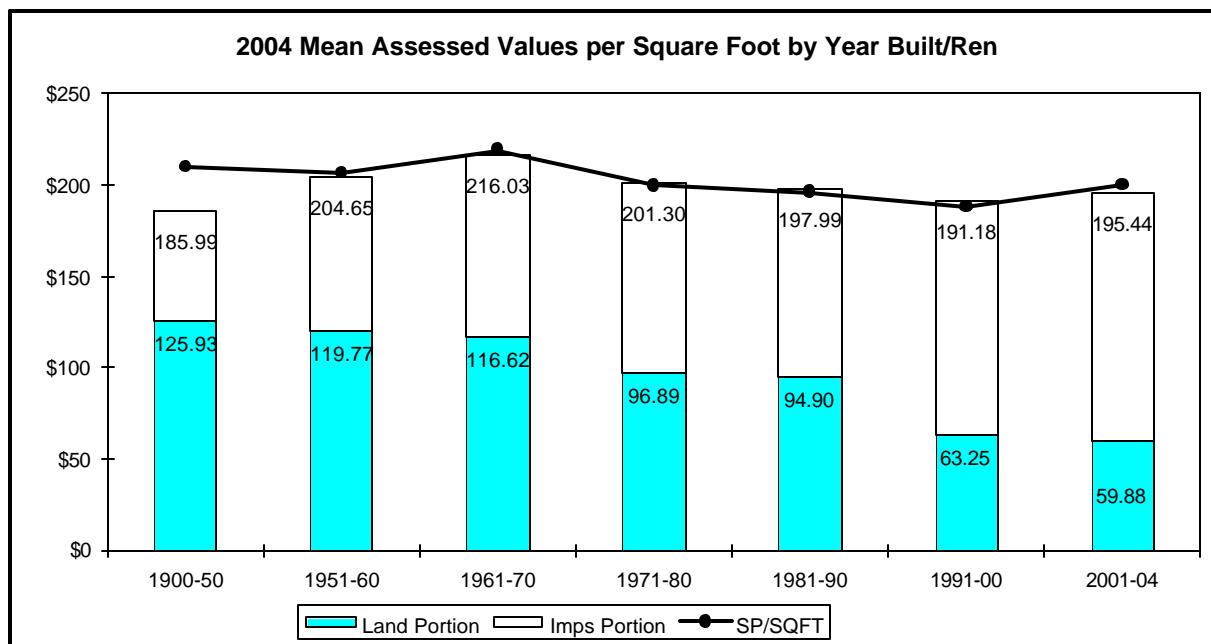
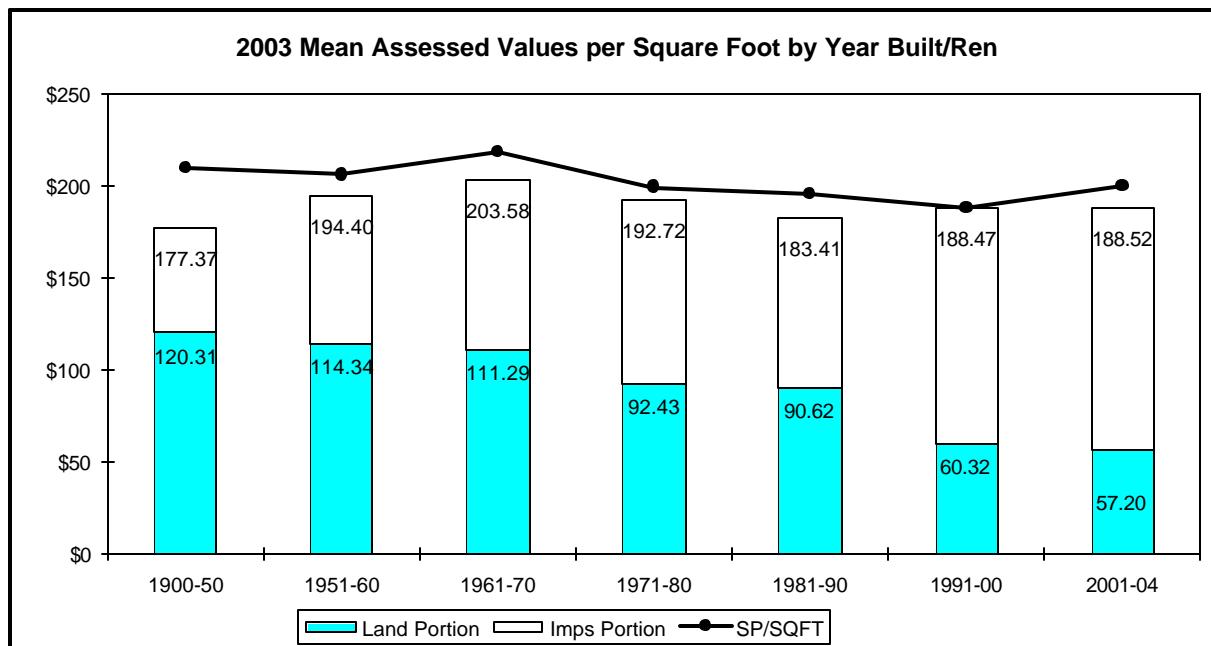
Sales Sample		
Grade	Frequency	% Sales Sample
1	0	0.00%
2	0	0.00%
3	0	0.00%
4	0	0.00%
5	0	0.00%
6	2	0.47%
7	316	73.66%
8	79	18.41%
9	18	4.20%
10	11	2.56%
11	3	0.70%
12	0	0.00%
13	0	0.00%
		429

Population		
Grade	Frequency	% Population
1	0	0.00%
2	0	0.00%
3	0	0.00%
4	0	0.00%
5	4	0.09%
6	21	0.49%
7	3073	72.07%
8	865	20.29%
9	225	5.28%
10	57	1.34%
11	15	0.35%
12	4	0.09%
13	0	0.00%
		4264



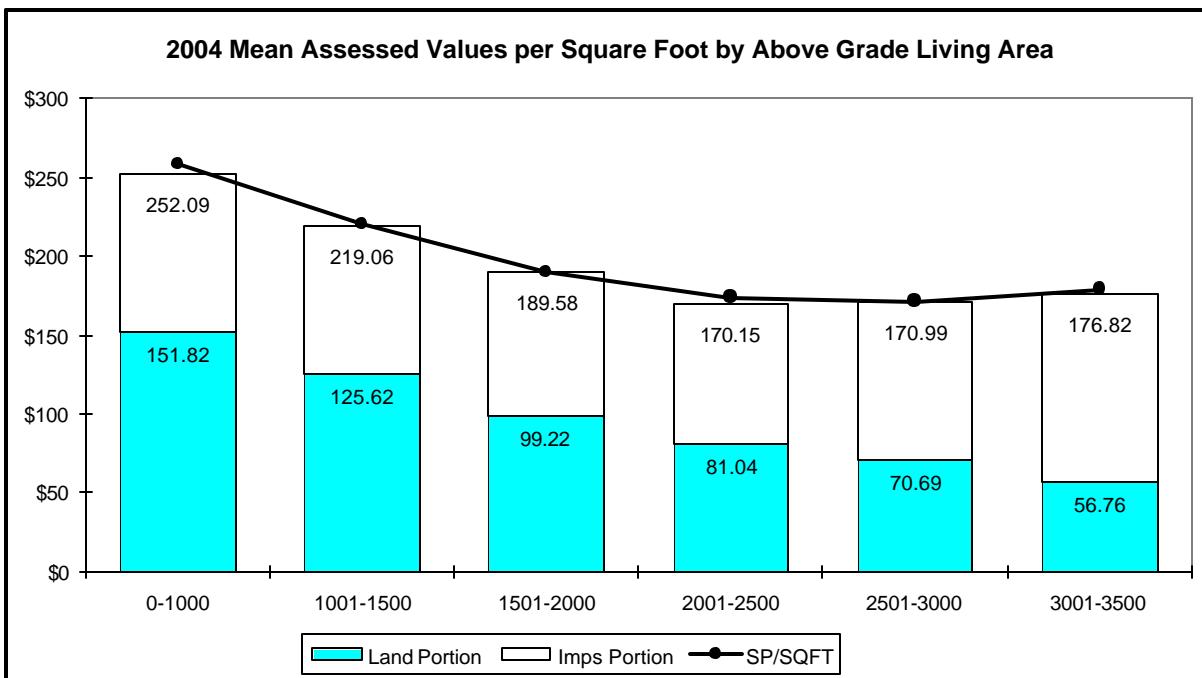
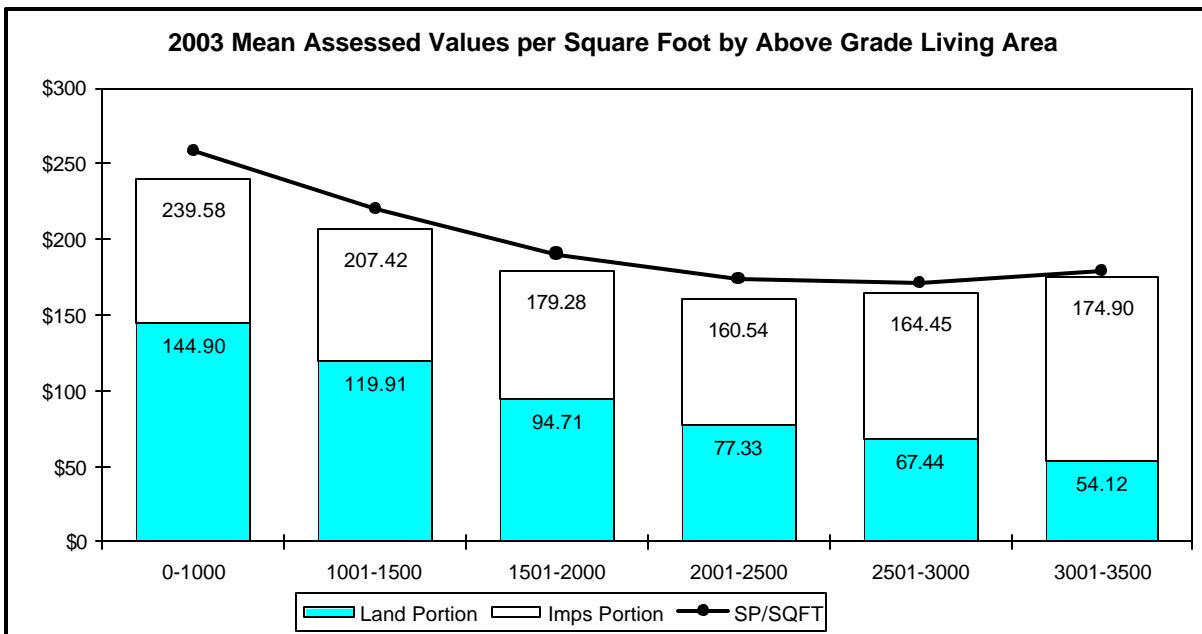
The sales sample frequency distribution follows the population distribution very closely with regard to Building Grade. This distribution is ideal for both accurate analysis and appraisals.

**Comparison of 2003 and 2004 Per Square Foot Values
By Year Built or Year Renovated**



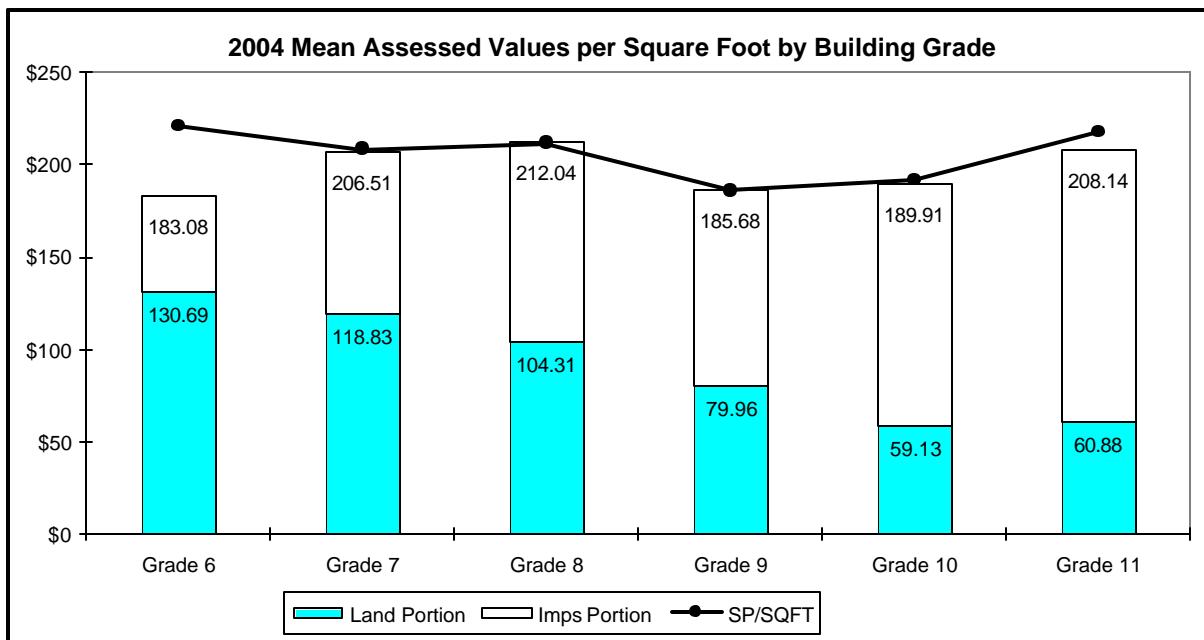
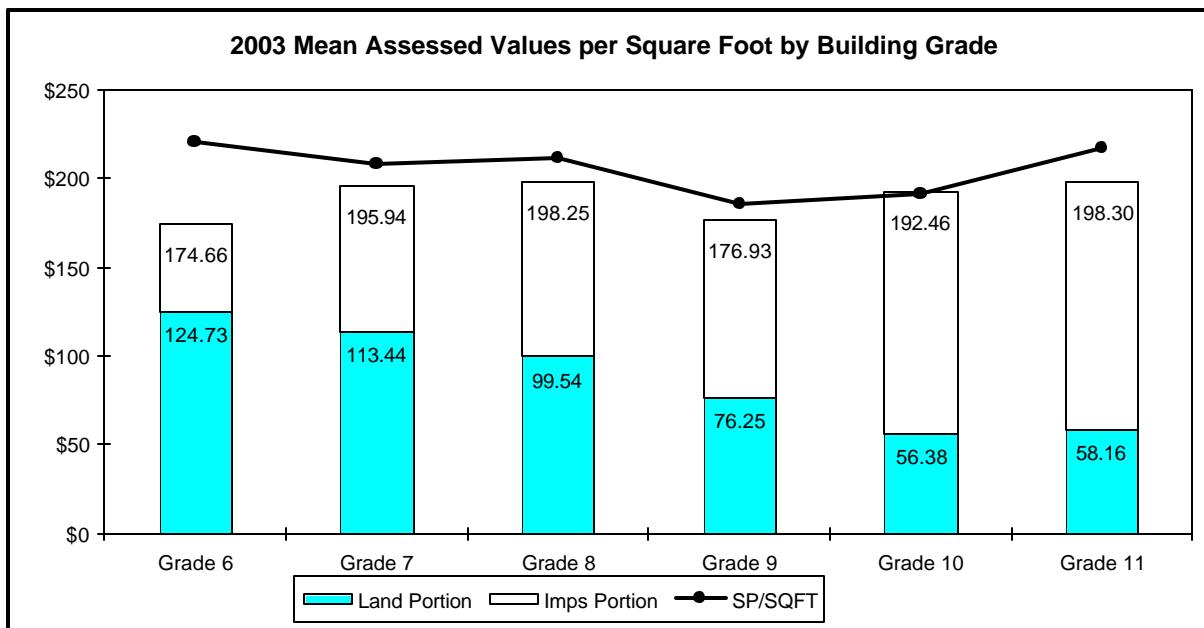
These charts clearly show an improvement in assessment level and uniformity by Year Built as a result of applying the 2004 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements. There were only 3 sales for homes built between 1900 and 1950.

**Comparison of 2003 and 2004 Per Square Foot Values
By Above Grade Living Area**



These charts clearly show an improvement in assessment level and uniformity by Above Grade Living Area as a result of applying the 2004 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

***Comparison of 2003 and 2004 Per Square Foot Values
By Building Grade***



These charts clearly show an improvement in assessment level and uniformity by Building Grade as a result of applying the 2004 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements. There were only 2 and 3 sales for grades 6 and 11, respectively.

Annual Update Process

Data Utilized

Available sales closed from 1/1/2002 through 12/31/2003 were considered in this analysis. The sales and population data were extracted from the King County Assessor's residential database.

Sales Screening for Improved Parcel Analysis

Improved residential sales removal occurred for parcels meeting the following criteria:

1. Commercially zoned parcels
2. Vacant parcels
3. Mobile home parcels
4. Multi-parcel or multi-building sales
5. New construction where less than a 100% complete house was assessed for 2003
6. Existing residences where the data for 2003 is significantly different than the data for 2004 due to remodeling
7. Parcels with improvements value, but no building characteristics
8. Others as identified in the sales deleted list

See the attached Improved Sales Used in this Annual Update Analysis and Improved Sales Removed from this Annual Update Analysis at the end of this report for more detailed information.

Land update

There were no vacant land sales available in Area 67. As a result, a market adjustment for land values was derived based on the constant from the improved property model, along with the allocation methodology. This resulted in an overall **4.8 %** increase in land assessments in the area for the 2004 Assessment Year. The formula is:

$$\text{2004 Land Value} = \text{2003 Land Value} \times \textcolor{red}{1.0509}, \text{with the result rounded down to the next \$1,000.}$$

Improved Parcel Update

The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living areas, views, waterfront, lot size, land problems and neighborhoods. Upon completion of the initial review, characteristics that indicated an area of possible adjustment were further analyzed using NCSS Statistical Software diagnostic and regression tools in conjunction with Microsoft Excel.

With the exception of real property mobile home parcels & parcels with "accessory only" improvements, the total assessed values on all improved parcels were based on the analysis of the **429** usable residential sales in the area.

The chosen adjustment model was developed using multiple regression. The 2004 assessment ratio (Assessed Value divided by Sale Price) was the dependent variable.

Improved Parcel Update (continued)

The analysis results showed that several characteristic and neighborhood based variables should be included in the update formula in order to improve the uniformity of assessments throughout the area. For instance, Homes with a Grade = 10 had higher average ratios (assessed Value/sales price) than other homes, so the formula adjusts these homes downward. Similarly, Plats known as Conifer Crest (Major = 173680), Eastgate Hills- Evergreen Add (Major = 220710), Lake Hills #22 (Major = 403930), and Village on Main Street (Major = 894460) had lower ratios (assessed Value/sales price) than other homes, so the formula adjusts these properties upward more than other properties thus improving equalization.

The derived adjustment formula is:

2004 Total Value = 2003 Total Value / .9515629 –(0.08348963*If Major = 173680) – (0.03753494*If Major = 220710) – (0.06037186*If Major = 403930) – (0.1007899*If Major = 894460) + (0.06115671*If Grade = 10).

The resulting total value is rounded down to the next \$1,000, *then*:

2004 Improvements Value = 2004 Total Value minus 2004 Land Value

An explanatory adjustment table is included in this report.

Other: *If multiple houses exist on a parcel, the Overall Market Adjustment indicated by the sales sample is used to arrive at new total value (2004 Land Value + Previous Improvement Value * 1.0509)
*If a house and mobile home exist, the formula derived from the house is used to arrive at new total value.
*If “accessory improvements only”, the Overall Market Adjustment indicated by the sales sample is used to arrive at a new total value. (2004 Land Value + Previous Improvement Value * 1.0509).
*If vacant parcels (no improvement value) only the land adjustment applies.
*If land or improvement values are \$10,000 or less, there is no change from previous value. (Previous Land value * 1.00 Or Previous Improvement value * 1.00)
*If a parcel is coded “non-perc” (sewer system=3), there is no change from previous land value.
*If a parcel is coded sewer system public restricted, or water district private restricted, or water district public restricted, there is no change from previous land value.
*If an improvement is coded “% net condition” or is in “poor” condition, there is no change from previous improvement value (only the land adjustment applies).
*Residential properties located on commercially zoned land will be valued using the overall basic adjustment indicated by the sales sample.

Mobile Home Update

There were no real property mobile homes in Area 67.

Model Validation

Ratio studies of assessments before and after this annual update are included later in this report. “Before and after” comparison graphs appear earlier in this report.

Area 67 Annual Update Model Adjustments

2004 Total Value = 2003 Total Value + Overall +/- Characteristic Adjustments as Apply Below

Due to rounding of the coefficient values used to develop the percentages and further rounding of the percentages in this table, the results you will obtain are an approximation of adjustment achieved in production.

Overall (if no other adjustments apply)

5.09%

Conifer Crest	Yes
% Adjustment	10.11%
Eastgate Hills	
Evergreen	Yes
Addition	
% Adjustment	4.32%
Lake_Hills #_22	Yes
% Adjustment	7.12%
Village on Main Street	Yes
% Adjustment	12.45%
HighGrade = 10	Yes
% Adjustment	-6.35%

Comments

The % adjustments shown are what would be applied in the absence of any other adjustments.

For instance, a parcel located in Village on Main St. would *approximately* receive a 17.5% upward adjustment (5.09% + 12.45%). There are 68 parcels in this plat that would receive this adjustment.

90% of the population of 1 to 3 family home parcels in the area are adjusted by the overall alone.

Area 67 Summary of Neighborhood Plat Variables

Plat Number	Plat Name	# Sales	# Pop	% of Pop	QSTR	Sub	Range of Building Grades	Range of Year Built	Nearest Major Roadway
173680	Conifer Crest	8	109	7.0%	NE-03-24-5	8	8	1964 thru 1967	143rd Ave SE and 148th Ave SE
220710	Eastgate Hills - Evergreen Add	20	171	11.7%	NE-11-24-5	8	7	1954 thru 1956	SE 12th St and Lake Hills Blvd
403930	Lake Hills #22	10	91	11.0%	SW-35-25-5	8	7 and 8	1961 thru 1962	152nd Pl SE and 156th Ave SE
894460	Village on Main St.	10	68	14.7%	SE-34-25-5	8	8	1988 thru 1989	Main Street and SE 2nd Street

Area 67 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2003 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2003 UPPER 95% C.L. less than the overall weighted mean indicates that levels may be relatively low. The overall 2004 weighted mean is 0.992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

Bldg Grade	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
6	2	0.783	0.821	4.8%	0.432	1.209
7	316	0.940	0.991	5.4%	0.982	0.999
8	79	0.934	1.000	7.1%	0.979	1.022
9	18	0.948	0.995	5.0%	0.965	1.026
10	11	1.009	0.996	-1.3%	0.964	1.027
11	3	0.905	0.950	5.0%	0.815	1.086
Year Built or Year Renovated	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
1931-1950	3	0.844	0.885	4.8%	0.595	1.174
1951-1960	226	0.940	0.990	5.3%	0.980	1.000
1961-1970	111	0.928	0.986	6.2%	0.969	1.003
1971-1980	37	0.970	1.009	4.0%	0.981	1.036
1981-1990	34	0.929	1.004	8.1%	0.976	1.032
1991-2003	18	0.982	0.999	1.7%	0.955	1.043
Condition	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
Average	179	0.932	0.979	5.1%	0.967	0.992
Good	224	0.949	1.002	5.6%	0.991	1.012
Very Good	26	0.953	1.005	5.5%	0.977	1.034
Stories	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
1	358	0.940	0.991	5.4%	0.982	0.999
1.5	15	0.936	0.982	4.9%	0.946	1.019
2	56	0.952	1.000	5.1%	0.979	1.021
Above Grade Living Area	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
0801-1000	14	0.928	0.977	5.2%	0.923	1.030
1001-1500	247	0.941	0.994	5.6%	0.984	1.003
1501-2000	109	0.942	0.996	5.8%	0.980	1.013
2001-2500	34	0.922	0.977	5.9%	0.944	1.010
2501-3000	13	0.959	0.997	3.9%	0.959	1.034
3001-5000	12	0.977	0.987	1.0%	0.958	1.015

Area 67 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2003 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2003 UPPER 95% C.L. less than the overall weighted mean indicates that levels may be relatively low. The overall 2004 weighted mean is 0.992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

View Y/N	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
Y	36	0.955	0.990	3.6%	0.957	1.023
N	393	0.940	0.992	5.6%	0.985	1.000
Wft Y/N	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
Y	1	0.998	0.984	-1.3%	N/A	N/A
N	428	0.941	0.992	5.4%	0.984	1.000
Sub	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
8	257	0.930	0.989	6.3%	0.980	0.999
14	172	0.955	0.995	4.2%	0.983	1.008
Lot Size	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
03000-05000	13	0.878	0.998	13.8%	0.953	1.043
05001-08000	146	0.950	1.006	5.9%	0.994	1.018
08001-12000	223	0.941	0.989	5.1%	0.978	1.000
12001-16000	33	0.950	0.988	4.0%	0.958	1.017
16001-20000	5	0.939	0.966	2.9%	0.942	0.991
20001-30000	5	0.945	0.974	3.0%	0.872	1.076
30001-5AC	4	0.894	0.919	2.9%	0.804	1.035
Conifer Crest Add	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
N	421	0.943	0.992	5.2%	0.984	1.000
Y	8	0.864	0.993	15.0%	0.938	1.049
Eastgate Hills Evergreen Add	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
N	409	0.943	0.992	5.2%	0.984	1.000
Y	20	0.911	0.995	9.2%	0.969	1.021
Lake Hills # 22	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
N	419	0.943	0.992	5.2%	0.984	1.000
Y	10	0.888	0.995	12.0%	0.951	1.038

Area 67 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2003 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2003 UPPER 95% C.L. less than the overall weighted mean indicates that levels may be relatively low. The overall 2004 weighted mean is 0.992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

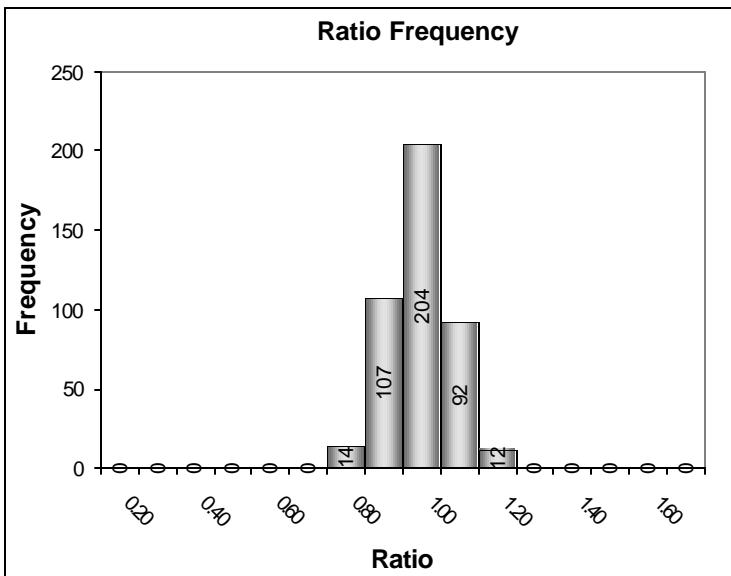
It is difficult to draw valid conclusions when the sales count is low.

Village on Main Street	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
N	419	0.944	0.992	5.1%	0.984	1.000
Y	10	0.847	0.994	17.3%	0.934	1.053
Grade = 10	Count	2003 Weighted Mean	2004 Weighted Mean	Percent Change	2004 Lower 95% C.L..	2004 Upper 95% C.L.
N	418	0.938	0.992	5.7%	0.984	1.000
Y	11	1.009	0.996	-1.3%	0.964	1.027

Annual Update Ratio Study Report (Before)

2003 Assessments

District/Team: NE / Team - I	Lien Date: 01/01/2003	Date of Report: 6/24/2004	Sales Dates: 1/2002 - 12/2003
Area Area 67	Appr ID: WMAT	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No
SAMPLE STATISTICS			
Sample size (n)	429		
Mean Assessed Value	292,100		
Mean Sales Price	310,200		
Standard Deviation AV	88,698		
Standard Deviation SP	95,740		
ASSESSMENT LEVEL			
Arithmetic Mean Ratio	0.946		
Median Ratio	0.941		
Weighted Mean Ratio	0.942		
UNIFORMITY			
Lowest ratio	0.756		
Highest ratio:	1.151		
Coefficient of Dispersion	6.83%		
Standard Deviation	0.080		
Coefficient of Variation	8.46%		
Price Related Differential (PRD)	1.005		
RELIABILITY			
95% Confidence: Median			
Lower limit	0.932		
Upper limit	0.953		
95% Confidence: Mean			
Lower limit	0.938		
Upper limit	0.954		
SAMPLE SIZE EVALUATION			
N (population size)	4264		
B (acceptable error - in decimal)	0.05		
S (estimated from this sample)	0.080		
Recommended minimum:	10		
Actual sample size:	429		
Conclusion:	OK		
NORMALITY			
Binomial Test			
# ratios below mean:	221		
# ratios above mean:	208		
Z:	0.628		
Conclusion:	Normal*		
*i.e. no evidence of non-normality			



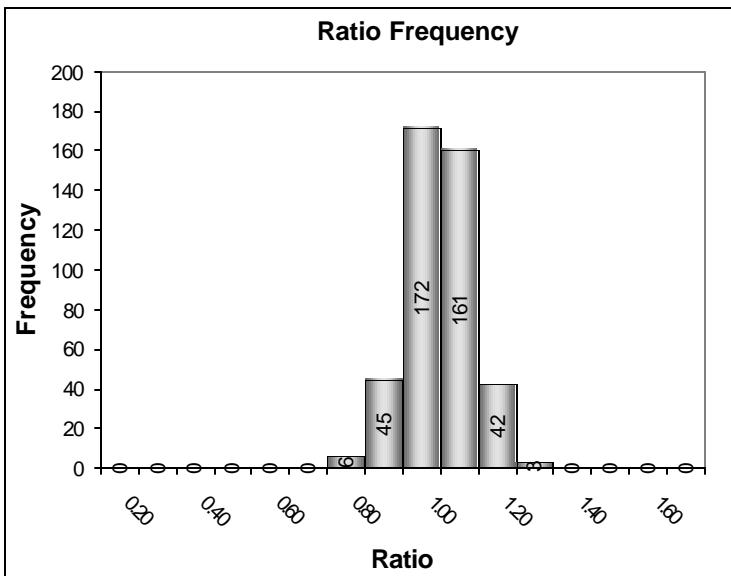
COMMENTS:

1 to 3 Unit Residences throughout area 67

Annual Update Ratio Study Report (After)

2004 Assessments

District/Team: NE / Team - I	Lien Date: 01/01/2004	Date of Report: 6/24/2004	Sales Dates: 1/2002 - 12/2003
Area Area 67	Appr ID: WMAT	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No
SAMPLE STATISTICS			
Sample size (n)	429		
Mean Assessed Value	307,800		
Mean Sales Price	310,200		
Standard Deviation AV	89,136		
Standard Deviation SP	95,740		
ASSESSMENT LEVEL			
Arithmetic Mean Ratio	0.998		
Median Ratio	0.995		
Weighted Mean Ratio	0.992		
UNIFORMITY			
Lowest ratio	0.792		
Highest ratio:	1.208		
Coefficient of Dispersion	6.45%		
Standard Deviation	0.081		
Coefficient of Variation	8.07%		
Price Related Differential (PRD)	1.006		
RELIABILITY			
95% Confidence: Median			
Lower limit	0.986		
Upper limit	1.009		
95% Confidence: Mean			
Lower limit	0.991		
Upper limit	1.006		
SAMPLE SIZE EVALUATION			
N (population size)	4264		
B (acceptable error - in decimal)	0.05		
S (estimated from this sample)	0.081		
Recommended minimum:	10		
Actual sample size:	429		
Conclusion:	OK		
NORMALITY			
Binomial Test			
# ratios below mean:	221		
# ratios above mean:	208		
Z:	0.628		
Conclusion:	Normal*		
*i.e. no evidence of non-normality			



COMMENTS:

1 to 3 Unit Residences throughout area 67

Both assessment level and uniformity have been improved by application of the recommended values.

Glossary for Improved Sales

Condition: Relative to Age and Grade

1= Poor	Many repairs needed. Showing serious deterioration
2= Fair	Some repairs needed immediately. Much deferred maintenance.
3= Average	Depending upon age of improvement; normal amount of upkeep for the age of the home.
4= Good	Condition above the norm for the age of the home. Indicates extra attention and care has been taken to maintain
5= Very Good	Excellent maintenance and updating on home. Not a total renovation.

Residential Building Grades

Grades 1 - 3	Falls short of minimum building standards. Normally cabin or inferior structure.
Grade 4	Generally older low quality construction. Does not meet code.
Grade 5	Lower construction costs and workmanship. Small, simple design.
Grade 6	Lowest grade currently meeting building codes. Low quality materials, simple designs.
Grade 7	Average grade of construction and design. Commonly seen in plats and older subdivisions.
Grade 8	Just above average in construction and design. Usually better materials in both the exterior and interior finishes.
Grade 9	Better architectural design, with extra exterior and interior design and quality.
Grade 10	Homes of this quality generally have high quality features. Finish work is better, and more design quality is seen in the floor plans and larger square footage.
Grade 11	Custom design and higher quality finish work, with added amenities of solid woods, bathroom fixtures and more luxurious options.
Grade 12	Custom design and excellent builders. All materials are of the highest quality and all conveniences are present.
Grade 13	Generally custom designed and built. Approaching the Mansion level. Large amount of highest quality cabinet work, wood trim and marble; large entries.

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address	
008	022405	9153	11/21/03	\$225,000	850	0	6	1947	4	8410	N	N	15220 SE 22ND ST	
008	342505	9022	4/30/03	\$255,000	1440	0	6	1940	3	10450	N	N	14038 SE 8TH ST	
008	403680	0015	2/21/02	\$244,000	880	850	7	1956	3	11700	N	N	15619 LAKE HILLS BL	
008	403680	0225	5/20/03	\$256,000	880	850	7	1956	4	9300	N	N	15856 SE 10TH ST	
008	403680	1170	3/21/02	\$237,000	880	880	7	1956	3	7300	N	N	16213 SE 7TH ST	
008	220720	0390	6/26/02	\$230,000	940	900	7	1963	4	9936	N	N	911 154TH AV SE	
008	403940	0480	11/22/02	\$265,000	960	580	7	1960	5	4452	N	N	463 155TH PL SE	
008	220710	0545	10/14/02	\$259,000	990	500	7	1955	4	8840	N	N	14315 SE 14TH ST	
008	403740	0110	10/11/03	\$220,000	990	0	7	1958	3	9000	N	N	233 164TH AV SE	
008	403680	0765	8/30/02	\$237,500	990	0	7	1957	4	6650	N	N	16049 SE 10TH ST	
008	403700	0025	4/11/03	\$224,000	990	0	7	1958	4	8100	N	N	951 164TH AV SE	
008	403680	0860	6/11/02	\$220,000	990	0	7	1958	4	7000	N	N	16035 SE 9TH ST	
008	403680	0540	8/26/03	\$295,000	1000	550	7	1956	3	8300	N	N	15840 SE 12TH PL	
008	064350	0090	3/25/02	\$293,000	1000	1000	7	1962	4	8250	N	N	2122 145TH AV SE	
008	220720	0145	9/9/02	\$233,200	1000	0	7	1956	4	10868	N	N	1014 151ST AV SE	
008	403930	0050	6/6/02	\$310,000	1010	1010	7	1962	3	7700	N	N	121 152ND PL SE	
008	220720	0760	5/29/03	\$234,300	1010	0	7	1956	3	8280	N	N	15542 SE 10TH ST	
008	403700	0030	4/4/03	\$242,500	1010	0	7	1958	3	8100	N	N	943 164TH AV SE	
008	220710	0780	4/14/03	\$256,250	1010	410	7	1956	3	8375	N	N	1519 143RD AV SE	
008	403810	0100	12/29/03	\$279,000	1010	920	7	1959	4	9630	N	N	15615 SE 4TH ST	
008	403680	1045	6/12/02	\$269,000	1010	720	7	1956	4	7200	N	N	16235 SE 8TH ST	
008	403930	0870	1/13/03	\$264,623	1010	1010	7	1961	5	6600	N	N	213 155TH AV SE	
008	403680	1105	10/23/02	\$224,000	1010	0	7	1958	4	7400	N	N	16034 SE 9TH ST	
008	403940	0310	4/23/03	\$260,000	1010	1010	7	1960	4	7700	N	N	422 154TH AV SE	
008	664830	0060	12/9/03	\$207,500	1010	0	7	1956	3	9000	N	N	1615 146TH AV SE	
008	220720	0760	1/17/03	\$180,400	1010	0	7	1956	3	8280	N	N	15542 SE 10TH ST	
008	792360	0010	9/2/03	\$310,000	1020	1020	7	1961	4	8000	N	N	14604 SE 16TH PL	
008	064350	0200	8/8/03	\$289,000	1020	1020	7	1962	3	5720	N	N	14511 SE 21ST PL	
008	403750	0255	7/14/03	\$259,999	1020	600	7	1958	3	8850	N	N	147 164TH AV SE	
008	352505	9056	10/10/02	\$287,000	1020	520	7	1962	4	9583	N	N	15205 SE 4TH ST	

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	792360	0520	9/29/03	\$265,000	1020	1020	7	1961	3	7650	N	N	1808 146TH AV SE
008	403680	0890	6/30/03	\$236,500	1020	0	7	1958	4	7000	N	N	16235 SE 9TH ST
008	792360	0460	8/29/02	\$268,000	1020	1020	7	1961	4	7344	N	N	1614 146TH AV SE
008	403810	0295	4/1/02	\$282,000	1020	650	7	1959	5	7700	N	N	38 158TH PL SE
008	792390	0420	6/16/03	\$259,000	1020	700	7	1962	4	8892	N	N	1251 151ST AV SE
008	792370	0240	1/17/02	\$247,000	1020	920	7	1961	4	7770	N	N	1250 150TH AV SE
008	792380	0270	5/28/02	\$240,000	1020	1020	7	1961	4	7200	N	N	1903 147TH PL SE
008	403810	0315	1/4/02	\$219,000	1020	400	7	1959	3	8250	N	N	68 158TH PL SE
008	403810	0155	10/9/02	\$212,700	1020	670	7	1959	4	8250	N	N	44 157TH AV SE
008	403680	0220	9/9/03	\$240,000	1030	0	7	1956	3	6800	N	N	909 159TH PL SE
008	220710	0420	8/9/02	\$277,750	1030	520	7	1955	4	7350	N	N	14612 SE 14TH ST
008	220710	0615	6/12/02	\$227,500	1030	0	7	1955	4	8100	N	N	1331 142ND AV SE
008	403680	0135	12/30/02	\$229,950	1030	0	7	1956	4	7300	N	N	15642 SE 9TH ST
008	220720	0200	6/20/02	\$274,000	1030	590	7	1955	5	8480	N	N	1060 149TH PL SE
008	220720	0200	8/18/03	\$262,000	1030	590	7	1955	5	8480	N	N	1060 149TH PL SE
008	220720	0240	7/26/02	\$230,000	1030	370	7	1956	4	8330	N	N	1041 149TH PL SE
008	403760	0050	12/31/02	\$228,000	1050	0	7	1959	3	10980	N	N	465 156TH AV SE
008	403950	0690	11/19/03	\$289,000	1050	750	7	1961	4	8362	N	N	15834 SE 4TH ST
008	220720	0090	11/28/03	\$279,000	1060	510	7	1956	4	7920	N	N	1019 148TH PL SE
008	403680	1040	2/14/02	\$256,000	1060	530	7	1956	4	7300	N	N	16227 SE 8TH ST
008	403680	0115	11/10/03	\$257,000	1060	550	7	1956	3	8740	N	N	15674 SE 9TH ST
008	403680	0525	12/16/03	\$239,950	1060	360	7	1956	4	8800	N	N	1115 160TH AV SE
008	403720	0725	9/23/02	\$276,500	1070	770	7	1958	4	8400	N	N	16329 LAKE HILLS BL
008	403950	0360	7/3/03	\$285,000	1070	180	7	1961	4	8000	N	N	164 159TH AV SE
008	792330	0305	9/19/02	\$261,000	1070	0	7	1956	4	8331	N	N	15315 SE 18TH ST
008	792380	0070	5/30/02	\$250,000	1070	0	7	1961	4	7300	N	N	2017 146TH PL SE
008	403740	0235	3/25/02	\$279,000	1070	1030	7	1958	4	7225	N	N	16065 SE 4TH ST
008	792370	0040	9/6/02	\$220,000	1070	0	7	1961	4	8928	N	N	1445 150TH AV SE
008	403720	0730	8/19/03	\$295,000	1080	570	7	1958	3	8400	N	N	16321 LAKE HILLS BL
008	792390	0170	11/5/03	\$302,000	1080	1080	7	1961	4	8362	N	N	1412 151ST AV SE
008	792390	0160	11/5/03	\$295,000	1080	800	7	1961	4	7560	N	N	1406 151ST AV SE
008	403930	0340	9/18/03	\$245,000	1100	0	7	1962	3	7182	N	N	243 153RD PL SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	403840	0100	9/25/03	\$218,000	1100	0	7	1960	3	8652	N	N	15605 SE 1ST ST
008	403950	0170	5/28/02	\$276,000	1100	750	7	1961	4	7182	N	N	15932 SE 1ST ST
008	403940	0390	1/15/02	\$219,550	1100	0	7	1960	4	8855	N	N	421 155TH PL SE
008	220710	0130	7/15/02	\$238,000	1120	0	7	1955	3	6200	N	N	1211 144TH AV SE
008	220710	0675	7/3/03	\$253,000	1120	1120	7	1956	3	7245	N	N	14250 LAKE HILLS BL
008	220710	0605	3/6/02	\$243,000	1120	0	7	1955	4	8160	N	N	1319 142ND AV SE
008	220710	0480	9/11/03	\$249,950	1120	0	7	1955	4	7176	N	N	1234 147TH AV SE
008	403680	0560	11/14/03	\$250,000	1120	0	7	1956	4	7700	N	N	15812 SE 12TH PL
008	220720	0875	4/3/03	\$224,500	1120	0	7	1956	3	7735	N	N	15438 SE 11TH ST
008	220710	0480	5/7/02	\$225,000	1120	0	7	1955	4	7176	N	N	1234 147TH AV SE
008	675110	0280	1/10/02	\$235,000	1130	0	7	1955	4	10907	N	N	15327 SE 24TH ST
008	403740	0625	8/1/03	\$255,000	1130	1010	7	1958	4	7208	N	N	417 158TH PL SE
008	792390	0110	2/1/02	\$220,000	1140	0	7	1962	4	7507	N	N	1236 151ST AV SE
008	403680	1465	5/3/03	\$251,000	1150	0	7	1957	4	7500	N	N	912 163RD AV SE
008	675110	0110	7/2/02	\$250,000	1150	0	7	1955	4	10800	N	N	2218 153RD AV SE
008	737460	0090	9/30/02	\$249,950	1160	0	7	1960	4	9000	N	N	15014 SE 18TH ST
008	403940	0890	11/20/03	\$268,000	1170	0	7	1960	4	4950	N	N	460 155TH AV SE
008	403940	0590	7/24/02	\$238,250	1170	0	7	1960	4	4400	N	N	15427 SE 7TH PL
008	403750	0335	1/9/03	\$269,950	1170	570	7	1958	5	11040	N	N	142 162ND AV SE
008	064340	0190	2/25/03	\$278,000	1180	310	7	1976	3	7020	N	N	14708 SE 15TH ST
008	064340	0070	7/19/03	\$273,000	1180	280	7	1976	3	7200	N	N	1513 147TH AV SE
008	403680	0815	5/29/02	\$232,000	1180	0	7	1957	3	7742	N	N	1029 163RD AV SE
008	220720	0545	12/29/03	\$265,000	1180	440	7	1956	4	7300	N	N	15411 SE 8TH ST
008	220720	0870	4/10/03	\$237,300	1190	0	7	1959	3	7735	N	N	15444 SE 11TH ST
008	403740	0095	11/15/02	\$230,500	1190	0	7	1958	4	8000	N	N	240 163RD PL SE
008	403740	0480	4/4/03	\$254,800	1190	340	7	1958	5	13566	N	N	15828 SE 6TH ST
008	403930	0880	7/15/03	\$262,500	1200	0	7	1961	4	6000	N	N	209 155TH AV SE
008	403940	0830	10/3/03	\$279,950	1210	0	7	1961	3	7700	N	N	416 155TH AV SE
008	403810	0190	12/16/02	\$280,000	1210	1120	7	1959	4	9890	N	N	5 158TH PL SE
008	792330	0030	5/21/03	\$287,500	1210	580	7	1956	4	11472	N	N	1646 152ND AV SE
008	403740	0540	11/8/02	\$274,000	1210	530	7	1958	4	9576	N	N	15814 SE 5TH PL
008	664830	0160	5/16/02	\$250,000	1210	0	7	1958	4	9825	N	N	1723 144TH AV SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	220720	0695	8/27/03	\$230,000	1210	260	7	1956	3	8050	N	N	15413 SE 9TH ST
008	403930	0330	6/5/02	\$292,000	1220	1070	7	1962	5	7670	N	N	235 153RD PL SE
008	220710	0350	11/6/03	\$272,950	1220	350	7	1955	4	7990	N	N	1334 145TH AV SE
008	032405	9107	7/3/02	\$230,000	1220	0	7	1945	4	7405	N	N	14050 SE 10TH ST
008	403750	0265	11/25/03	\$280,000	1230	850	7	1958	3	8400	N	N	163 164TH AV SE
008	403940	0020	3/28/03	\$225,000	1230	0	7	1960	3	8470	N	N	411 154TH AV SE
008	403760	0115	11/27/02	\$245,000	1240	0	7	1958	4	12400	N	N	406 156TH AV SE
008	403680	1020	10/16/03	\$247,000	1240	0	7	1956	3	7200	N	N	16035 SE 8TH ST
008	220710	0740	11/7/03	\$269,900	1250	0	7	1955	4	7700	N	N	14239 LAKE HILLS BL
008	220710	0180	9/21/03	\$271,950	1250	0	7	1955	4	7000	N	N	1244 143RD AV SE
008	220720	0030	7/31/03	\$242,990	1250	0	7	1955	3	8520	N	N	1076 148TH PL SE
008	675130	0285	9/4/03	\$263,999	1250	0	7	1957	4	10840	N	N	15519 SE 27TH ST
008	403680	1225	6/3/03	\$250,000	1250	0	7	1956	5	7600	N	N	16226 SE 8TH ST
008	403680	0090	12/16/02	\$225,000	1250	0	7	1956	3	6862	N	N	15635 SE 8TH ST
008	220720	0570	1/16/02	\$228,500	1250	0	7	1956	4	7300	N	N	15447 SE 8TH ST
008	403680	0155	1/30/03	\$224,000	1250	0	7	1956	4	7000	N	N	15612 SE 9TH ST
008	737460	0040	12/5/03	\$260,000	1270	0	7	1961	3	8445	N	N	1607 151ST AV SE
008	403680	1485	12/4/02	\$243,450	1270	0	7	1957	4	8000	N	N	1020 163RD AV SE
008	675130	0175	1/11/02	\$250,000	1270	0	7	1956	4	8000	N	N	2568 154TH AV SE
008	403680	1215	2/25/03	\$261,500	1270	400	7	1956	4	7400	N	N	16240 SE 8TH ST
008	220710	0220	6/25/03	\$263,000	1280	0	7	1955	4	7000	N	N	14411 SE 12TH ST
008	403740	0210	9/27/02	\$243,000	1280	500	7	1958	3	9500	N	N	16130 SE 5TH ST
008	220720	0280	6/20/02	\$234,000	1280	0	7	1956	4	8687	N	N	1265 149TH PL SE
008	403680	1090	9/16/03	\$250,000	1290	0	7	1958	3	7400	N	N	16214 SE 9TH ST
008	403680	1075	4/1/03	\$224,013	1290	0	7	1958	4	7600	N	N	16236 SE 9TH ST
008	064350	0170	10/20/03	\$262,500	1300	0	7	1962	4	8346	N	N	2011 145TH AV SE
008	220710	0160	7/22/02	\$295,000	1300	1300	7	1955	4	7000	N	N	1325 144TH AV SE
008	220720	0720	3/21/03	\$279,950	1300	800	7	1956	4	8050	N	N	15447 SE 9TH ST
008	403680	1115	5/1/03	\$224,000	1300	0	7	1958	3	7200	N	N	16020 SE 9TH ST
008	220720	0350	9/4/03	\$230,000	1300	530	7	1956	3	6885	N	N	1208 149TH PL SE
008	220720	0495	10/17/03	\$255,500	1310	0	7	1956	3	8400	N	N	15450 SE 8TH ST
008	403680	0925	2/12/02	\$245,000	1310	0	7	1957	4	7300	N	N	16224 SE 10TH ST

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	220720	0745	3/15/02	\$244,000	1310	0	7	1956	4	7820	N	N	15533 SE 9TH ST
008	415770	0170	7/28/03	\$387,000	1320	1180	7	1962	4	12300	N	N	2054 152ND AV SE
008	403940	0790	4/16/03	\$295,000	1320	0	7	1961	4	8325	N	N	410 155TH PL SE
008	403680	0845	9/29/03	\$265,500	1320	0	7	1958	4	6790	N	N	16015 SE 9TH ST
008	403680	0865	12/18/03	\$257,000	1320	0	7	1958	4	7000	N	N	16043 SE 9TH ST
008	403680	0390	1/2/03	\$225,000	1320	0	7	1956	3	8610	N	N	1066 158TH PL SE
008	664830	0155	10/1/02	\$264,500	1330	400	7	1958	3	9727	N	N	1717 144TH AV SE
008	403680	0290	11/1/02	\$230,000	1330	0	7	1956	4	7875	N	N	1003 159TH PL SE
008	194490	0310	3/26/02	\$250,000	1330	850	7	1966	4	7665	N	N	45 151ST PL SE
008	403740	0560	6/20/02	\$299,950	1340	770	7	1958	5	10527	N	N	404 158TH PL SE
008	675110	0115	7/16/03	\$270,000	1340	0	7	1955	4	8900	N	N	2318 153RD AV SE
008	675110	0315	8/26/02	\$262,950	1340	0	7	1955	4	9480	N	N	15535 SE 24TH ST
008	220710	0485	7/25/03	\$238,200	1340	0	7	1955	4	7176	N	N	1226 147TH AV SE
008	403760	0120	8/14/03	\$228,000	1350	0	7	1958	3	8075	N	N	15604 SE 4TH ST
008	064340	0140	8/27/02	\$280,000	1350	270	7	1977	4	7350	N	N	14717 SE 15TH PL
008	403750	0155	11/19/03	\$249,500	1360	0	7	1958	4	8360	N	N	177 160TH PL SE
008	415770	0200	1/15/02	\$315,000	1370	1370	7	1962	4	9404	N	N	2028 152ND AV SE
008	403740	0445	4/23/03	\$275,000	1390	0	7	1958	4	9020	N	N	421 160TH AV SE
008	403760	0030	8/22/02	\$246,000	1390	0	7	1958	4	9600	N	N	433 156TH AV SE
008	403740	0250	5/14/03	\$264,880	1390	0	7	1958	4	7490	N	N	16041 SE 4TH ST
008	415750	0110	2/15/02	\$309,000	1400	840	7	1960	4	7588	N	N	15307 SE 21ST ST
008	403930	0010	8/18/03	\$289,000	1400	1320	7	1962	4	8580	N	N	5 152ND PL SE
008	675130	0070	4/17/03	\$260,000	1410	0	7	1956	4	8000	N	N	2535 154TH AV SE
008	792370	0250	10/31/03	\$273,500	1420	0	7	1961	4	7560	N	N	1258 150TH AV SE
008	220720	0820	3/17/03	\$222,000	1420	0	7	1956	3	7520	N	N	15405 SE 10TH ST
008	737460	0140	11/20/03	\$273,000	1430	0	7	1960	3	10560	N	N	1623 151ST AV SE
008	675130	0005	2/20/03	\$275,000	1430	0	7	1956	4	14380	N	N	2705 153RD AV SE
008	737460	0260	5/6/02	\$273,000	1430	0	7	1960	4	9531	N	N	15124 SE 18TH ST
008	675130	0320	12/19/02	\$248,000	1430	320	7	1956	4	8400	N	N	2529 156TH AV SE
008	403930	0700	8/19/03	\$325,000	1440	1000	7	1962	3	8740	N	N	228 153RD PL SE
008	675110	0180	12/22/03	\$275,000	1440	470	7	1956	3	14007	N	N	15526 SE 24TH ST
008	737460	0650	1/16/03	\$266,000	1450	0	7	1961	4	8370	N	N	15015 SE 20TH ST

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	403940	0550	7/16/03	\$275,000	1460	0	7	1960	4	8470	N	N	627 155TH AV SE
008	675130	0100	10/14/03	\$299,950	1470	0	7	1957	4	8500	N	N	2652 153RD AV SE
008	403930	0770	7/2/03	\$317,000	1470	940	7	1962	4	8400	N	N	211 154TH PL SE
008	737460	0130	5/10/02	\$264,500	1470	0	7	1959	4	11120	N	N	1631 151ST AV SE
008	403810	0300	9/5/02	\$284,000	1470	520	7	1959	4	8250	N	N	44 158TH PL SE
008	403810	0255	6/10/03	\$296,450	1480	0	7	1959	4	8500	N	N	15803 SE 3RD PL
008	403930	0300	9/24/03	\$349,950	1480	1170	7	1962	5	8320	N	N	211 SE 153RD PL
008	403740	0290	7/24/03	\$275,000	1480	0	7	1958	4	8500	N	N	426 160TH AV SE
008	022405	9111	12/10/03	\$282,500	1480	0	7	1959	3	13457	N	N	2041 153RD AV SE
008	022405	9066	4/5/02	\$280,000	1480	0	7	1954	4	21700	N	N	15330 SE 22ND ST
008	737460	0790	6/25/03	\$250,000	1480	0	7	1961	4	10641	N	N	2015 151ST AV SE
008	403740	0065	7/11/02	\$252,579	1490	0	7	1958	4	5635	N	N	221 163RD PL SE
008	737460	0640	12/17/02	\$260,000	1490	0	7	1961	4	8730	N	N	15005 SE 20TH ST
008	079320	0020	3/18/02	\$255,000	1490	0	7	1961	4	9543	N	N	1447 153RD PL SE
008	403740	0120	9/19/02	\$235,300	1490	0	7	1958	4	8880	N	N	219 164TH AV SE
008	403750	0005	9/25/02	\$271,000	1500	0	7	1958	4	8547	N	N	16026 MAIN ST
008	675050	0030	1/8/03	\$305,000	1520	1110	7	1956	5	10419	N	N	2242 151ST PL SE
008	403680	0210	4/9/02	\$215,000	1520	0	7	1956	3	7000	N	N	15667 SE 9TH ST
008	403680	0615	4/8/02	\$297,000	1530	990	7	1961	4	9360	N	N	15605 SE 11TH ST
008	403680	1290	11/12/03	\$269,000	1540	0	7	1956	3	8890	N	N	613 160TH AV SE
008	403680	0520	5/24/02	\$250,000	1540	0	7	1956	3	8715	N	N	1079 158TH PL SE
008	220710	0590	7/8/03	\$246,000	1540	0	7	1955	4	9880	N	N	14527 SE 14TH ST
008	403680	0400	1/25/02	\$224,500	1540	0	7	1956	4	8400	N	N	1052 158TH PL SE
008	403950	0890	2/22/02	\$299,000	1550	0	7	1961	5	8239	N	N	15835 SE 4TH ST
008	032405	9086	8/22/03	\$284,000	1550	0	7	1959	4	6969	N	N	14029 SE 10TH ST
008	403750	0170	5/21/02	\$239,500	1560	0	7	1958	5	10528	N	N	155 160TH PL SE
008	220710	0665	7/14/03	\$329,950	1570	1170	7	1956	4	8925	N	N	14260 LAKE HILLS BL
008	403740	0125	3/14/03	\$264,000	1570	0	7	1958	4	8880	N	N	211 164TH AV SE
008	737460	0490	11/21/03	\$285,100	1570	0	7	1960	3	9356	N	N	15115 SE 18TH ST
008	086960	0030	6/19/03	\$289,000	1620	0	7	1969	3	7460	N	N	725 143RD PL SE
008	220710	0175	8/26/03	\$274,950	1620	0	7	1955	4	7000	N	N	1250 143RD AV SE
008	022405	9067	4/11/03	\$294,950	1630	0	7	1956	4	17280	N	N	1620 150TH AV SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	792330	0150	12/6/02	\$339,500	1640	0	7	2001	3	11963	N	N	1605 154TH AV SE
008	403740	0535	1/8/03	\$263,000	1640	0	7	1958	4	9945	N	N	15822 SE 5TH PL
008	792330	0065	12/4/02	\$276,000	1640	620	7	1956	4	11830	N	N	1627 153RD AV SE
008	403720	0860	6/19/03	\$259,000	1680	0	7	1958	4	10320	N	N	15952 LAKE HILLS BL
008	675110	0030	6/3/03	\$329,950	1690	0	7	1955	4	9770	N	N	2213 153RD AV SE
008	792330	0225	8/8/03	\$276,000	1690	0	7	1956	3	8918	N	N	15215 SE 18TH ST
008	403680	1160	8/25/03	\$289,900	1690	400	7	1956	3	7722	N	N	16029 SE 7TH ST
008	792330	0115	10/11/02	\$269,900	1710	0	7	1956	4	8947	N	N	15314 SE 18TH ST
008	675110	0145	7/31/03	\$278,000	1740	0	7	1956	4	10750	N	N	15335 SE 23RD ST
008	675110	0080	8/15/03	\$335,000	1770	0	7	1956	4	8426	N	N	15350 SE 23RD ST
008	792390	0270	2/27/03	\$274,950	1780	0	7	1961	4	7800	N	N	15022 SE 15TH ST
008	675130	0155	3/25/02	\$284,000	1820	0	7	1956	4	11345	N	N	15311 SE 27TH ST
008	675110	0015	10/10/02	\$305,000	1830	0	7	1955	5	9770	N	N	2303 153RD AV SE
008	403680	0910	4/15/03	\$270,000	1830	0	7	1957	4	8000	N	N	911 163RD AV SE
008	792360	0070	12/26/02	\$265,000	1870	0	7	1960	4	7800	N	N	14716 SE 17TH ST
008	403740	0265	8/25/03	\$272,500	1890	0	7	1958	4	8050	N	N	16019 SE 4TH ST
008	403810	0335	4/10/02	\$257,000	1990	0	7	1959	3	8989	N	N	15903 MAIN ST
008	403740	0595	2/21/02	\$273,000	2020	0	7	1958	5	9690	N	N	15704 SE 6TH ST
008	675130	0415	2/6/03	\$255,000	2020	0	7	1956	4	8400	N	N	2525 155TH PL SE
008	220710	0845	2/20/02	\$294,000	2070	0	7	1955	5	9514	N	N	14604 SE 15TH ST
008	737460	0370	2/11/03	\$275,000	2160	0	7	1961	4	10800	N	N	1832 150TH AV SE
008	403950	0160	2/21/03	\$310,000	2230	0	7	1961	4	8740	N	N	15926 SE 1ST ST
008	066250	0040	4/8/03	\$340,000	2260	0	7	1969	3	6952	N	N	14216 SE 10TH ST
008	066250	0050	3/14/02	\$338,000	2260	0	7	1969	4	6887	N	N	14202 SE 10TH ST
008	403930	0260	11/15/02	\$312,000	2310	0	7	1962	4	7668	N	N	129 SE 153RD PL
008	066250	0100	5/2/03	\$336,000	2340	0	7	1968	3	9000	N	N	905 142ND AV SE
008	792380	0410	9/5/03	\$369,000	2390	0	7	1991	3	7252	N	N	14620 SE 21ST ST
008	220710	0800	12/10/02	\$327,000	2640	0	7	1955	4	8970	N	N	14404 SE 15TH ST
008	066250	0080	10/3/02	\$350,000	2920	0	7	1979	4	8533	N	N	904 142ND AV SE
008	353000	0120	8/21/03	\$284,900	1300	340	8	1967	3	6798	N	N	1018 142ND AV SE
008	323650	0340	2/25/02	\$305,500	1330	0	8	1984	3	7913	N	N	14870 SE 9TH PL
008	173680	0160	10/8/03	\$350,000	1350	530	8	1966	4	7500	N	N	14409 SE 8TH ST

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	173680	0610	4/14/03	\$295,000	1400	0	8	1967	4	9350	N	N	805 146TH AV SE
008	894460	0360	9/19/02	\$266,500	1420	0	8	1989	3	4937	N	N	394 145TH PL SE
008	502390	0170	7/22/03	\$356,500	1460	420	8	1970	4	10296	N	N	1909 145TH AV SE
008	502390	0150	11/20/03	\$306,500	1460	400	8	1971	4	7800	N	N	14435 SE 19TH PL
008	894460	0030	12/15/03	\$277,900	1470	0	8	1988	3	4316	N	N	59 145TH PL SE
008	173680	0750	11/13/03	\$334,000	1470	880	8	1965	4	6426	N	N	1024 146TH AV SE
008	801630	0180	3/11/03	\$333,950	1520	730	8	1968	4	8360	N	N	15804 SE 13TH ST
008	502390	0060	6/3/03	\$299,950	1530	0	8	1971	4	7260	N	N	14412 SE 19TH PL
008	792380	0510	6/17/03	\$347,850	1560	1020	8	2000	3	7200	N	N	2118 146TH PL SE
008	353000	0030	9/19/02	\$282,000	1730	0	8	1967	4	7500	N	N	14206 SE 10TH PL
008	323650	0360	5/20/03	\$260,000	1740	0	8	1981	3	7200	N	N	14830 SE 9TH PL
008	894460	0270	8/7/02	\$326,000	1830	0	8	1988	3	3481	N	N	325 145TH PL SE
008	894460	0610	5/15/03	\$350,000	1840	0	8	1988	3	5961	N	N	116 145TH PL SE
008	894460	0220	11/5/03	\$329,000	1840	0	8	1988	3	3610	N	N	289 145TH PL SE
008	894460	0670	5/19/03	\$318,500	1840	0	8	1988	3	4219	N	N	28 145TH PL SE
008	502390	0080	9/17/03	\$330,650	1850	0	8	1971	4	5400	N	N	14400 SE 19TH PL
008	894460	0330	7/18/03	\$339,625	1880	0	8	1988	3	4496	N	N	373 145TH PL SE
008	894460	0390	4/17/03	\$339,000	1930	0	8	1989	3	3548	N	N	364 145TH PL SE
008	894460	0300	7/15/03	\$315,000	1940	0	8	1988	3	4052	N	N	347 145TH PL SE
008	173680	0640	5/1/03	\$315,000	1950	0	8	1965	3	8910	N	N	901 146TH AV SE
008	323650	0140	1/28/02	\$347,000	2080	0	8	1981	4	7950	N	N	1165 148TH DR SE
008	894460	0170	11/1/02	\$320,000	2100	0	8	1988	5	3185	N	N	243 145TH PL SE
008	173680	1030	10/22/03	\$322,000	2210	0	8	1966	4	7957	N	N	920 147TH AV SE
008	173680	0660	9/3/02	\$340,000	2210	0	8	1965	4	8800	N	N	917 146TH AV SE
008	173680	0190	10/17/03	\$405,000	2250	0	8	1965	4	7800	N	N	810 144TH PL SE
008	427960	0020	8/13/02	\$400,000	2470	0	8	1982	3	8712	N	N	807 141ST PL SE
008	022405	9118	6/3/03	\$355,000	2500	0	8	1978	4	14400	N	N	15428 SE 22ND PL
008	342505	9163	6/2/03	\$626,000	2760	0	8	1961	3	50094	N	N	250 145TH AV SE
008	173680	0430	10/31/03	\$395,000	3140	0	8	1965	4	10576	N	N	14415 SE 9TH PL
008	342505	9141	12/10/03	\$498,000	2550	0	9	1957	4	34830	N	N	715 145TH AV SE
008	883890	0198	8/6/03	\$499,888	2800	0	9	2003	3	7299	N	N	14619 SE 21ST ST
008	342505	9145	11/15/02	\$414,950	2970	0	9	1959	5	16099	N	N	257 145TH AV SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
008	342505	9151	4/2/02	\$580,000	3280	0	9	1956	5	25178	N	N	714 145TH AV SE
008	342505	9281	9/3/03	\$745,000	3470	0	11	2002	3	13748	N	N	259 145TH AV SE
008	342505	9281	8/2/02	\$717,000	3470	0	11	2002	3	13748	N	N	259 145TH AV SE
014	792280	0320	5/10/02	\$340,000	1020	1020	7	1962	4	8400	Y	N	2514 166TH AV SE
014	403700	0725	1/8/03	\$256,500	1020	500	7	1957	3	8282	N	N	821 168TH AV SE
014	195200	0170	10/9/02	\$285,000	1020	960	7	1955	4	14036	Y	N	16460 SE 34TH ST
014	403720	0635	9/4/02	\$240,000	1050	0	7	1959	3	8800	N	N	420 164TH AV SE
014	675110	0410	8/21/02	\$219,000	1060	0	7	1955	3	9222	N	N	2410 156TH AV SE
014	345930	0270	8/29/03	\$293,000	1070	720	7	1981	3	7500	N	N	16609 SE 39TH PL
014	345930	0210	12/11/03	\$299,900	1090	720	7	1982	3	9170	Y	N	16449 SE 39TH PL
014	122405	9112	9/5/03	\$335,000	1090	610	7	1960	3	11850	Y	N	2804 171ST AV SE
014	403720	0140	10/21/03	\$265,000	1100	0	7	1957	3	14800	N	N	220 LAKE HILLS BL
014	345930	0020	3/11/02	\$272,000	1110	300	7	1981	3	7102	N	N	3843 166TH AV SE
014	403860	0630	4/28/03	\$289,950	1120	840	7	1960	3	8775	N	N	30 164TH AV SE
014	403700	0825	4/17/03	\$304,800	1120	500	7	1956	3	8680	N	N	16628 SE 8TH ST
014	403720	0205	9/9/03	\$305,000	1150	650	7	1957	3	9898	N	N	16715 SE 4TH PL
014	403720	0665	3/13/03	\$234,000	1150	0	7	1957	3	7700	N	N	423 165TH AV SE
014	403700	0815	7/26/02	\$251,000	1150	340	7	1957	3	8890	N	N	16642 SE 8TH ST
014	792310	0450	8/20/03	\$305,000	1160	580	7	1972	3	7875	N	N	16237 SE 31ST ST
014	792290	0290	6/18/02	\$295,500	1200	520	7	1963	3	7848	Y	N	16648 SE 26TH PL
014	321170	0150	6/23/03	\$254,900	1210	0	7	1951	3	11804	N	N	16303 SE 34TH ST
014	403700	0420	12/20/02	\$254,500	1210	0	7	1957	4	7462	N	N	1103 166TH AV SE
014	399920	0360	6/20/02	\$286,000	1220	0	7	1961	3	11560	N	N	16530 SE 29TH ST
014	345980	0110	6/13/03	\$279,950	1230	420	7	1985	3	7500	N	N	16705 SE 40TH PL
014	792300	0040	11/6/02	\$315,000	1230	1120	7	1965	5	10510	N	N	2616 SE 163RD PL
014	345980	0170	5/1/02	\$296,950	1230	420	7	1985	3	8080	N	N	16730 SE 40TH PL
014	403720	0430	4/25/03	\$285,520	1270	1010	7	1957	3	8295	N	N	405 166TH AV SE
014	414130	0150	7/28/03	\$283,700	1280	0	7	1961	3	10815	N	N	16749 SE 21ST PL
014	403720	0410	12/2/02	\$305,000	1290	1060	7	1957	4	8800	N	N	16703 SE 4TH PL
014	403700	0610	1/10/03	\$239,950	1290	0	7	1957	4	8404	N	N	16633 SE 9TH ST
014	403700	0780	8/26/03	\$257,000	1300	0	7	1957	3	8500	N	N	16627 SE 7TH ST
014	403720	0065	5/14/02	\$419,950	1310	1040	7	1957	4	20000	Y	N	428 168TH AV SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
014	403700	0455	2/6/03	\$246,500	1310	0	7	1957	3	9036	N	N	1134 166TH AV SE
014	403700	0330	4/23/03	\$254,950	1320	0	7	1957	3	7720	N	N	986 165TH AV SE
014	403700	0330	1/7/02	\$249,950	1320	0	7	1957	3	7720	N	N	986 165TH AV SE
014	403700	0930	8/5/03	\$318,160	1340	520	7	1957	3	12750	N	N	1106 167TH AV SE
014	321170	0075	11/18/02	\$272,000	1340	0	7	1958	4	14250	N	N	16455 SE 35TH ST
014	399920	0770	12/8/03	\$299,950	1350	1230	7	1960	3	11803	N	N	16703 SE 30TH ST
014	792310	0500	11/13/02	\$292,900	1360	0	7	1966	4	9150	N	N	16275 SE 31ST ST
014	792310	0120	6/11/03	\$289,000	1360	0	7	1965	4	8925	N	N	2944 162ND AV SE
014	792310	0070	8/1/02	\$275,000	1360	0	7	1965	4	7524	N	N	16211 SE 29TH PL
014	403700	0935	2/24/03	\$267,500	1360	1040	7	1957	3	9600	N	N	1114 167TH AV SE
014	792290	0500	2/12/02	\$255,000	1390	480	7	1963	3	7770	N	N	16644 SE 27TH ST
014	403720	0450	3/19/03	\$339,000	1400	1400	7	1957	4	8000	N	N	433 166TH AV SE
014	345980	0160	4/30/03	\$285,000	1400	0	7	1985	3	11260	N	N	16734 SE 40TH PL
014	403860	0520	7/23/03	\$395,000	1410	900	7	1961	4	11625	N	N	26 165TH AV SE
014	737510	0025	6/18/02	\$252,250	1420	0	7	1958	4	7800	N	N	1232 164TH AV SE
014	792320	0080	1/8/03	\$285,000	1420	0	7	1967	4	7632	N	N	2532 161ST AV SE
014	399930	0140	8/15/02	\$475,000	1430	690	7	1962	3	13280	Y	N	2814 170TH AV SE
014	403700	0300	10/25/02	\$249,950	1430	0	7	1957	3	7693	N	N	959 165TH AV SE
014	737510	0130	3/6/03	\$253,000	1440	0	7	1957	3	7800	N	N	1219 166TH AV SE
014	792320	0200	12/12/03	\$295,000	1460	0	7	1967	4	8295	N	N	2806 161ST AV SE
014	675150	0335	8/12/03	\$318,000	1460	660	7	1957	4	10400	N	N	2428 158TH AV SE
014	403700	0345	8/26/03	\$264,000	1460	0	7	1957	3	8157	N	N	960 165TH AV SE
014	737510	0095	10/14/02	\$255,000	1470	0	7	1958	3	7800	N	N	1232 165TH AV SE
014	195200	0160	4/4/02	\$310,000	1470	1470	7	1963	4	10168	N	N	3250 165TH AV SE
014	675150	0195	2/26/02	\$277,000	1470	930	7	1957	4	11500	N	N	2520 157TH AV SE
014	737510	0226	10/29/03	\$335,000	1480	1200	7	1958	3	12029	N	N	1239 167TH AV SE
014	737510	0226	11/11/02	\$299,950	1480	1200	7	1958	3	12029	N	N	1239 167TH AV SE
014	403720	0095	10/21/02	\$425,000	1490	1490	7	1957	5	21090	N	N	16825 SE 3RD PL
014	737530	0225	4/10/03	\$271,950	1490	0	7	1959	5	8389	N	N	16420 SE 16TH ST
014	737510	0155	3/9/02	\$240,000	1490	0	7	1957	4	7975	N	N	16619 SE 12TH ST
014	792310	0410	9/24/03	\$394,500	1500	1140	7	1966	3	8215	N	N	16209 SE 31ST ST
014	792310	0510	6/24/02	\$345,000	1500	1500	7	1966	4	8850	N	N	16281 SE 31ST ST

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
014	792310	0640	10/22/02	\$299,500	1500	870	7	1966	3	10360	N	N	16010 SE 31ST ST
014	737530	0190	2/25/02	\$295,500	1500	1000	7	1959	4	8400	N	N	16423 SE 15TH ST
014	403700	0685	5/5/03	\$399,900	1510	1510	7	1956	4	8701	N	N	16611 SE 8TH ST
014	888190	0160	3/4/02	\$356,000	1520	1520	7	1970	4	9389	Y	N	3811 170TH AV SE
014	345980	0210	2/12/03	\$290,950	1550	0	7	1985	3	6644	N	N	16714 SE 40TH PL
014	737530	0270	1/15/02	\$268,000	1550	0	7	1959	4	9129	N	N	16644 SE 16TH ST
014	792290	0120	12/3/03	\$285,000	1550	420	7	1964	3	7875	N	N	16659 SE 27TH ST
014	403720	0525	10/25/02	\$265,000	1560	0	7	1957	4	10530	N	N	16404 LAKE HILLS BL
014	675150	0225	3/21/03	\$310,000	1560	135	7	1957	4	11250	N	N	15731 SE 26TH ST
014	792310	0590	3/14/02	\$290,000	1560	0	7	1966	4	7875	N	N	2943 162ND AV SE
014	792300	0150	2/10/03	\$312,000	1570	460	7	1965	4	12750	N	N	16301 SE 27TH ST
014	403720	0040	7/3/03	\$399,500	1580	990	7	1957	4	12000	Y	N	460 168TH AV SE
014	737530	0305	12/12/03	\$350,100	1580	980	7	1964	4	10800	N	N	16415 SE 16TH ST
014	345930	0050	7/22/02	\$299,999	1600	0	7	1982	3	7600	N	N	16506 SE 39TH PL
014	792300	0340	2/22/02	\$332,500	1610	400	7	1965	4	7875	N	N	16225 SE 29TH ST
014	399920	0570	12/22/03	\$386,580	1620	270	7	1960	4	10880	N	N	16515 SE 29TH ST
014	737510	0305	1/22/02	\$320,000	1620	1590	7	1959	3	14680	N	N	1274 167TH AV SE
014	403700	0275	5/1/02	\$242,000	1630	0	7	1957	3	7693	N	N	921 165TH AV SE
014	792290	0360	3/3/03	\$301,500	1670	0	7	1963	4	7875	N	N	16627 SE 26TH PL
014	792300	0130	7/9/02	\$298,500	1700	0	7	1965	4	8085	N	N	16319 SE 27TH ST
014	737530	0180	12/16/03	\$321,500	1710	1710	7	1959	4	8400	N	N	16407 SE 15TH ST
014	737530	0205	2/26/03	\$291,000	1710	800	7	1959	3	9450	N	N	16447 SE 15TH ST
014	345930	0080	3/6/02	\$320,000	1710	860	7	1982	3	8295	N	N	3836 165TH PL SE
014	675150	0065	12/10/02	\$345,000	1720	1320	7	1957	4	11500	Y	N	15714 SE 25TH ST
014	792310	0090	5/16/03	\$306,500	1730	0	7	1965	3	7800	N	N	2926 162ND AV SE
014	737510	0275	9/24/02	\$299,000	1730	1730	7	1958	4	13397	N	N	1226 167TH AV SE
014	345930	0010	6/23/03	\$332,500	1740	0	7	1981	3	17716	N	N	3833 166TH AV SE
014	792300	0350	11/19/03	\$324,000	1750	0	7	1965	4	7875	N	N	16221 SE 29TH ST
014	737510	0300	10/11/02	\$307,000	1780	1200	7	1958	3	11387	N	N	1266 167TH AV SE
014	403720	0485	7/22/03	\$260,000	1780	0	7	1957	4	7304	N	N	204 165TH AV SE
014	792320	0160	1/14/03	\$380,000	1800	1150	7	1967	4	7875	N	N	2746 161ST AV SE
014	403720	0530	7/30/02	\$270,000	1830	0	7	1957	4	7371	N	N	258 164TH AV SE

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
014	737510	0245	8/19/02	\$274,950	1840	0	7	1958	4	8000	N	N	16705 SE 12TH ST
014	403700	0635	6/4/03	\$268,000	1850	0	7	1957	4	9911	N	N	921 168TH AV SE
014	792310	0380	8/14/02	\$360,000	1960	0	7	1966	4	8021	N	N	16013 SE 31ST ST
014	403700	0680	12/12/03	\$293,500	1960	0	7	1956	3	8424	N	N	16605 SE 8TH ST
014	403700	0680	12/17/02	\$269,000	1960	0	7	1956	3	8424	N	N	16605 SE 8TH ST
014	195200	0020	7/22/03	\$375,000	2230	1370	7	1964	4	9760	Y	N	3255 165TH AV SE
014	414150	0120	5/5/03	\$329,950	1190	640	8	1968	3	6825	Y	N	16409 SE 21ST PL
014	414130	0170	7/10/03	\$274,500	1230	390	8	1967	3	9700	N	N	2115 168TH AV SE
014	122405	9155	3/25/03	\$378,000	1230	1200	8	1982	4	12632	Y	N	3339 166TH PL SE
014	195200	0050	3/22/02	\$275,000	1260	680	8	1978	3	10500	Y	N	3221 165TH AV SE
014	404640	0211	6/5/02	\$312,000	1300	570	8	1968	3	9800	N	N	1920 165TH PL SE
014	414150	0070	5/23/03	\$365,000	1310	1190	8	1969	3	7210	N	N	16426 SE 21ST PL
014	145990	0040	10/16/03	\$347,000	1310	1270	8	1969	3	7552	N	N	16704 SE 23RD PL
014	145990	0050	10/11/02	\$299,950	1310	1270	8	1969	3	4840	N	N	16701 SE 23RD PL
014	414130	0060	2/13/03	\$305,000	1320	320	8	1967	3	9600	N	N	16624 SE 21ST PL
014	062730	0215	4/29/03	\$311,215	1330	960	8	1977	3	11500	Y	N	2657 WEST LAKE SAMMAMISH PW SE
014	195200	0175	5/28/03	\$295,500	1380	700	8	1979	3	7725	Y	N	16516 SE 34TH ST
014	404640	0200	10/20/03	\$330,000	1400	650	8	1975	3	8100	N	N	1921 165TH PL SE
014	414130	0120	3/10/03	\$350,000	1430	750	8	1967	4	12825	N	N	16617 SE 21ST PL
014	321180	0090	5/23/03	\$355,950	1440	770	8	1968	4	12740	N	N	3257 164TH PL SE
014	424570	0110	7/4/03	\$415,000	1500	1240	8	1972	3	21969	N	N	16519 SE 31ST ST
014	424570	0050	7/10/03	\$339,000	1520	900	8	1972	3	8500	N	N	3105 165TH AV SE
014	062730	0105	8/7/02	\$526,400	1530	680	8	1959	4	10400	Y	N	2645 170TH AV SE
014	404640	0330	8/25/03	\$309,000	1580	1100	8	1969	4	8000	N	N	16583 SE 19TH ST
014	062730	0085	12/11/03	\$575,000	1590	1100	8	1958	3	10400	Y	N	2648 169TH AV SE
014	404640	0060	2/6/02	\$310,000	1600	1600	8	1970	4	8960	N	N	16564 SE 19TH ST
014	062730	0160	5/24/02	\$490,000	1620	1200	8	1972	4	10920	Y	N	2644 170TH AV SE
014	194970	0202	12/9/02	\$315,000	1620	670	8	1972	4	9450	N	N	3403 WEST LAKE SAMMAMISH PW SE
014	752530	0420	2/20/02	\$435,000	1630	880	8	1969	5	10440	Y	N	2519 171ST AV SE
014	195200	0140	2/27/03	\$314,254	1680	620	8	1963	3	11840	N	N	3240 165TH AV SE
014	424570	0410	8/27/02	\$342,000	1710	1100	8	1972	3	8295	N	N	16504 SE 31ST ST
014	675200	0220	10/1/02	\$330,000	1720	780	8	1975	3	9592	N	N	16429 SE 22ND ST

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
014	012405	9050	5/10/02	\$330,000	1790	0	8	1991	4	12086	N	N	16671 SE 17TH PL
014	062730	0220	6/18/03	\$353,000	1820	0	8	1968	4	11220	N	N	2601 WEST LAKE SAMMAMISH PW SE
014	399920	0670	10/23/03	\$317,000	1820	0	8	1962	4	10880	N	N	16710 SE 30TH ST
014	752530	0500	5/9/03	\$495,000	1830	1450	8	1975	3	5400	Y	N	2529 170TH PL SE
014	399930	0350	7/1/02	\$585,000	1830	1830	8	1960	4	14725	Y	N	2809 169TH AV SE
014	260780	0270	3/20/03	\$309,950	1880	0	8	1983	4	8222	N	N	17003 SE 41ST ST
014	112405	9066	2/12/02	\$393,000	1880	1160	8	1966	4	13939	N	N	3448 162ND PL SE
014	792290	0070	7/17/03	\$640,000	1890	1920	8	1967	4	9625	Y	N	2692 168TH AV SE
014	132405	9123	6/6/02	\$420,000	1900	0	8	1982	3	12363	Y	N	4011 WEST LAKE SAMMAMISH PW SE
014	260780	0230	10/22/03	\$330,000	1950	0	8	1982	4	8283	N	N	16911 SE 41ST ST
014	260780	0230	10/22/03	\$330,000	1950	0	8	1982	4	8283	N	N	16911 SE 41ST ST
014	122405	9160	5/23/02	\$310,000	1950	0	8	1978	4	8712	N	N	3424 167TH AV SE
014	399920	0130	9/3/02	\$346,455	2070	0	8	1962	3	10880	N	N	16512 SE 28TH ST
014	012405	9028	7/23/03	\$975,000	2100	0	8	1954	3	170319	N	N	2211 168TH AV SE
014	792290	0060	5/15/02	\$550,000	2110	270	8	1963	5	9200	Y	N	2684 168TH AV SE
014	438400	0080	3/21/03	\$360,000	2160	0	8	1972	3	10791	N	N	16618 SE 17TH ST
014	382760	0130	4/9/03	\$360,000	2240	1090	8	1993	3	6899	Y	N	16425 SE 39TH PL
014	122405	9074	3/5/03	\$364,950	2350	0	8	1983	4	10125	N	N	3307 168TH PL SE
014	424570	0320	1/7/02	\$369,000	2380	540	8	1972	3	9682	N	N	16708 SE 31ST ST
014	195468	0040	2/19/03	\$403,000	2610	0	8	1981	3	12349	Y	N	3304 168TH PL SE
014	888190	0220	12/15/03	\$325,000	2750	0	8	1978	3	6876	N	N	16915 SE 39TH ST
014	260780	1120	7/23/03	\$370,000	1540	1270	9	1979	3	14207	Y	N	3947 WEST LAKE SAMMAMISH PW SE
014	260780	0170	12/9/02	\$365,000	1700	1260	9	1979	3	11455	N	N	4023 169TH AV SE
014	260780	0130	6/5/03	\$381,600	1710	400	9	1979	3	8425	N	N	16920 SE 40TH PL
014	012405	9077	4/16/03	\$358,000	1770	770	9	1974	3	12196	N	N	2141 168TH AV SE
014	321190	0240	6/13/02	\$399,950	2270	0	9	1979	4	8840	N	N	3505 164TH PL SE
014	260780	0480	10/20/03	\$385,000	2270	0	9	1979	3	10285	N	N	17011 SE 40TH CT
014	260780	0740	8/8/03	\$348,000	2280	0	9	1979	3	9841	N	N	17165 SE 40TH PL
014	260780	0430	7/17/03	\$365,000	2290	0	9	1979	3	7188	N	N	4023 171ST AV SE
014	260780	0670	10/31/02	\$475,000	2330	700	9	1979	3	9652	Y	N	4043 170TH AV SE
014	260780	0660	7/29/03	\$445,000	2330	0	9	1994	3	7961	N	N	4039 170TH AV SE
014	260780	0010	12/16/02	\$355,000	2360	0	9	1979	4	9237	Y	N	17306 SE 40TH PL

Improved Sales Used in this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/Ren	Cond	Lot Size	View	Water-front	Situs Address
014	792280	0180	8/14/03	\$570,000	2450	1020	9	1990	3	9200	Y	N	16615 SE 25TH ST
014	022405	9213	12/9/03	\$435,000	2590	0	9	1984	3	11052	N	N	15604 SE 24TH ST
014	145990	0110	3/10/03	\$464,000	2700	0	9	1999	3	7368	N	N	16644 SE 24TH ST
014	194970	0140	8/15/03	\$659,000	2380	1630	10	1999	3	13061	Y	N	16921 SE 32ND PL
014	012405	9091	6/5/03	\$520,000	2810	0	10	2000	3	10593	N	N	16600 SE 24TH ST
014	792280	0570	5/9/02	\$639,000	2940	0	10	1979	4	10569	Y	N	16844 SE 26TH ST
014	012405	9089	5/22/02	\$563,000	3120	0	10	1999	3	12015	N	N	16612 SE 24TH ST
014	012405	9090	6/20/02	\$580,000	3150	0	10	1999	3	10037	N	N	16608 SE 24TH ST
014	012405	9088	4/19/02	\$597,000	3170	0	10	1999	3	13249	N	N	16620 SE 24TH ST
014	012405	9022	4/10/03	\$534,500	3300	0	10	1998	3	10800	N	N	16412 SE 24TH ST
014	122405	9189	9/6/02	\$635,000	3420	530	10	2000	3	16380	N	N	3302 166TH PL SE
014	260780	0320	5/22/02	\$660,000	3420	0	10	2001	3	26211	Y	N	17130 SE 41ST ST
014	260780	0780	1/25/02	\$492,000	4130	0	10	1979	3	10651	Y	N	4069 172ND PL SE
014	438400	0140	5/24/02	\$899,950	4190	0	10	1979	5	32663	Y	Y	16401 SE 17TH ST
014	112405	9042	4/1/03	\$585,500	2530	0	11	1990	3	14374	N	N	16228 SE 35TH PL

Improved Sales Removed from this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
008	022405	9105	6/17/02	\$240,000	CovRatio,RStud
008	032405	9156	11/7/03	\$620,000	%Compl ActivePermitBeforeSale>25K
008	064350	0010	5/22/02	\$198,998	CovRatio,RStud
008	064350	0040	6/27/02	\$195,000	BANKRUPTCY - RECEIVER OR TRUSTEE
008	064350	0040	2/20/02	\$185,000	BANKRUPTCY - RECEIVER OR TRUSTEE
008	079320	0030	12/18/03	\$210,000	CovRatio,RStud
008	079320	0140	8/21/02	\$105,607	QUIT CLAIM DEED DORRatio
008	173680	0220	4/25/02	\$194,250	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	220710	0280	6/12/03	\$267,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	220710	0750	9/2/03	\$160,000	Box Plot Outlier
008	220710	0770	5/23/03	\$150,000	Box Plot Outlier
008	220720	0020	12/19/02	\$185,000	NO MARKET EXPOSURE; RELATED PARTY, FRIEND
008	220720	0285	12/5/03	\$165,000	CovRatio,RStud
008	220720	0535	1/30/02	\$239,000	TRADE
008	220720	0540	3/22/02	\$109,515	QUIT CLAIM DEED; STATEMENT TO DOR DORRatio
008	220720	0765	1/31/03	\$225,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	220720	0900	5/6/03	\$190,000	EXEMPT FROM EXCISE TAX
008	403680	0005	11/16/03	\$351,000	CovRatio, RStud
008	403680	0130	12/24/02	\$180,000	RELATED PARTY, FRIEND, OR NEIGHBOR
008	403680	0220	4/28/03	\$160,000	CovRatio,RStud
008	403680	0400	1/22/02	\$84,116	QUIT CLAIM DEED; STATEMENT TO DOR DORRatio
008	403680	0605	7/28/03	\$198,921	CovRatio,RStud
008	403680	0605	9/17/03	\$235,000	BANKRUPTCY - RECEIVER OR TRUSTEE
008	403680	1050	12/20/02	\$24,656	QUIT CLAIM DEED DORRatio
008	403680	1120	5/16/03	\$196,000	QUIT CLAIM DEED; RELATED PARTY, FRIEND
008	403680	1350	10/14/03	\$220,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	403680	1485	12/4/02	\$12,172	QUIT CLAIM DEED DORRatio
008	403740	0105	5/7/03	\$101,765	QUIT CLAIM DEED; RELATED PARTY, FRIEND
008	403740	0125	11/11/02	\$224,059	Questionable Sale
008	403740	0455	1/28/03	\$212,000	IMP. CHARACTERISTICS CHANGED SINCE SALE
008	403810	0080	4/11/03	\$220,000	CovRatio,RStud
008	403810	0155	7/19/02	\$213,306	EXEMPT FROM EXCISE TAX
008	403810	0205	6/3/02	\$102,500	QUIT CLAIM DEED DORRatio
008	403940	0180	2/12/03	\$231,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	403940	0970	5/8/02	\$215,000	RELATED PARTY, FRIEND, OR NEIGHBOR
008	403950	0870	3/25/02	\$159,900	RELATED PARTY, FRIEND, OR NEIGHBOR
008	415760	0010	5/23/03	\$47,242	RELATED PARTY, FRIEND, OR NEIGHBOR
008	675100	0050	8/7/03	\$427,000	CovRatio, RStud
008	675130	0030	5/8/03	\$283,500	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	675130	0055	7/14/02	\$205,000	NO MARKET EXPOSURE
008	675130	0155	11/25/03	\$150,000	DORRatio
008	675130	0350	5/14/03	\$261,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	675130	0425	8/20/03	\$262,250	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	737460	0030	4/23/03	\$227,000	BANKRUPTCY - RECEIVER OR TRUSTEE
008	737460	0330	10/21/03	\$71,420	QUIT CLAIM DEED; PARTIAL INTEREST (103, 102, Etc.)

Improved Sales Removed from this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
008	737460	0490	8/20/03	\$206,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
008	737460	0760	1/29/03	\$260,000	CovRatio, RStud
008	792330	0305	5/6/02	\$208,900	Imp Charactistics Changed after sale
008	792360	0180	8/6/02	\$160,000	QUIT CLAIM DEED
008	792360	0550	1/25/02	\$49,684	QUIT CLAIM DEED; AND OTHER WARNINGS DORRatio
008	792380	0430	8/29/02	\$175,000	NO MARKET EXPOSURE; RELATED PARTY, FRIEND
008	792380	0520	9/29/03	\$375,000	CovRatio, RStud
008	792390	0140	11/19/03	\$170,000	Box Plot Outlier
008	792390	0150	9/30/03	\$195,000	Questionable Sale
008	792390	0150	4/16/03	\$176,400	Questionable Sale
008	883890	0196	11/18/02	\$400,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	012405	9071	9/22/03	\$539,000	Box Plot Outlier
014	062730	0090	4/10/03	\$430,000	CovRatio,RStud
014	062730	0115	10/10/02	\$370,000	NO MARKET EXPOSURE
014	062730	0175	9/5/02	\$281,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	112405	9040	7/11/03	\$62,600	QUIT CLAIM DEED; RELATED PARTY, FRIEND
014	122405	9016	9/30/02	\$450,000	RELATED PARTY, FRIEND, OR NEIGHBOR
014	122405	9101	10/28/02	\$370,000	NO MARKET EXPOSURE; RELATED PARTY, FRIEND
014	122405	9109	7/30/03	\$816,500	Obsol
014	122405	9160	4/6/02	\$307,210	RELOCATION - SALE TO SERVICE
014	122405	9171	4/17/02	\$326,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	122405	9172	7/8/02	\$250,000	CHARACTERISTICS CHANGED SINCE SALE
014	132405	9124	6/25/03	\$375,000	RELOCATION - SALE BY SERVICE
014	132405	9124	4/8/03	\$440,000	RELOCATION - SALE TO SERVICE
014	194970	0150	9/8/03	\$520,000	CovRatio, RStud
014	195200	0175	1/28/03	\$245,000	Box Plot Outlier
014	260780	0030	9/29/03	\$515,000	CovRatio, RStud
014	260780	0710	9/17/03	\$457,000	Imps Characteristics Changed
014	321170	0050	11/4/02	\$100,000	RELATED PARTY, FRIEND, OR NEIGHBOR DORRatio
014	321170	0125	10/18/02	\$201,550	NO MARKET EXPOSURE
014	321170	0135	4/17/02	\$237,820	NO MARKET EXPOSURE
014	321180	0170	10/3/03	\$282,000	CovRatio,RStud
014	345980	0010	10/21/03	\$34,172	QUIT CLAIM DEED; EXEMPT FROM EXCISE TAX
014	399920	0290	2/3/03	\$320,000	NO MARKET EXPOSURE; AND OTHER WARNINGS
014	399920	0430	11/20/03	\$60,077	DORRatio
014	399920	0480	8/4/03	\$475,000	RELOCATION - SALE BY SERVICE
014	399920	0480	8/6/03	\$475,000	RELOCATION - SALE TO SERVICE
014	399930	0060	5/14/02	\$280,000	NO MARKET EXPOSURE; AND OTHER WARNINGS
014	403700	0360	9/4/02	\$230,000	IMP. CHARACTERISTICS CHANGED SINCE SALE
014	403700	0650	7/12/02	\$189,530	BANKRUPTCY - RECEIVER OR TRUSTEE
014	403700	0695	2/13/03	\$72,966	EXEMPT FROM EXCISE TAX; RELATED PARTY, FRIEND
014	403720	0080	12/6/02	\$143,509	QUIT CLAIM DEED DORRatio
014	403720	0130	2/14/02	\$227,500	IMP. CHARACTERISTICS CHANGED SINCE SALE
014	403720	0575	9/5/02	\$269,000	NON-REPRESENTATIVE SALE
014	403720	0585	11/3/03	\$160,000	Box Plot Outlier

Improved Sales Removed from this Annual Update Analysis
Area 67
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
014	403860	0520	1/10/02	\$59,323	QUIT CLAIM DEED; RELATED PARTY, FRIEND
014	404640	0380	9/10/02	\$183,500	NO MARKET EXPOSURE; RELATED PARTY, FRIEND
014	424570	0350	1/15/03	\$234,000	QUIT CLAIM DEED
014	424570	0400	7/24/02	\$350,000	CovRatio,RStud
014	737510	0135	4/21/03	\$274,500	UnFinArea
014	737510	0231	5/22/03	\$94,097	PARTIAL INTEREST (103, 102, Etc.)
014	737510	0231	5/14/03	\$94,097	QUIT CLAIM DEED; RELATED PARTY, FRIEND
014	737530	0215	7/30/03	\$200,000	RELATED PARTY, FRIEND, OR NEIGHBOR
014	792280	0010	11/1/02	\$290,000	IMP. CHARACTERISTICS CHANGED SINCE SALE
014	792280	0160	2/14/02	\$242,000	IMP. CHARACTERISTICS CHANGED SINCE SALE
014	792280	0330	9/10/02	\$285,000	IMP. CHARACTERISTICS CHANGED SINCE SALE
014	792280	0460	4/4/03	\$339,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	792290	0280	8/30/02	\$298,500	RELATED PARTY, FRIEND, OR NEIGHBOR
014	792300	0380	2/25/03	\$295,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	792310	0400	3/14/02	\$300,000	RELATED PARTY, FRIEND, OR NEIGHBOR
014	792310	0600	5/29/03	\$261,000	CovRatio,RStud
014	888190	0065	1/30/03	\$245,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
014	888190	0215	12/3/02	\$220,000	DORRatio

Vacant Sales Used in this Annual Update Analysis
Area 67

There were no vacant land sales in Area 67.



King County
Department of Assessments
King County Administration Bldg.
500 Fourth Avenue, ADM-AS-0708
Seattle, WA 98104-2384

(206) 296-5195 FAX (206) 296-0595
Email: assessor.info@metrokc.gov
www.metrokc.gov/assessor/

Scott Noble
Assessor

MEMORANDUM

DATE: January 31, 2004

TO: Residential Appraisers

Scott Noble

FROM: Scott Noble, Assessor

SUBJECT: 2004 Revaluation for 2005 Tax Roll

The King County Assessor, as elected representative of the people of King County, is your client for the mass appraisal and summary report. The King County Department of Assessments subscribes to the Uniform Standards of Professional Appraisal Practice 2004. You will perform your appraisals and complete your summary mass appraisal reports in compliance with USPAP 2004. The following are your appraisal instructions and conditions:

1. You are to timely appraise the area or properties assigned to you by the revalue plan. The Departure Provision of USPAP may be invoked as necessary including special limiting conditions to complete the Revalue Plan.
2. You are to use all appropriate mass appraisal techniques as stated in USPAP, Washington State Law; Washington State Administrative Code, IAAO texts or classes.
3. The standard for validation models is the standard as delineated by IAAO in their Standard on Ratio Studies (approved 1999); and
4. Any and all other standards as published by the IAAO.
5. Appraise land as if vacant and available for development to its highest and best use [USPAP SR 6-2(i)]. The improvements are to be valued at their contribution to the total.
6. You must complete the revalue in compliance with all Washington and King County laws, codes and with due consideration of Department of Revenue guidelines. The Jurisdictional Exception is to be invoked in case USPAP does not agree with these public policies.

7. Physical inspections should be completed per the revaluation plan and statistical updates completed on the remainder of the properties as appropriate.
8. You must complete a written, summary, mass appraisal report for each area and a statistical update report in compliance with USPAP Standard 6.
9. All sales of land and improved properties should be validated as correct and verified with participants as necessary.
10. You must use at least two years of sales. No adjustments to sales prices shall be made to avoid any possibility of speculative market conditions skewing the basis for taxation.
11. Continue to review dollar per square foot as a check and balance to assessment value.
12. The intended use of the appraisal and report is the administration of ad valorem property taxation.
13. The intended users include the Assessor, Board of Equalization, Board of Tax Appeals, King County Prosecutor and Department of Revenue.
14. The land abstraction method should have limited use and only when the market indicates improved sales in a neighborhood are to acquire land only. The market will show this when a clear majority of purchased houses are demolished or remodeled by the new owner.
15. If "tear downs" are over 50% of improved sales in a neighborhood, they may be considered as an adjustment to the benchmark vacant sales. In analyzing a "tear down" ensure that you have accounted for any possible building value.

SN:swr